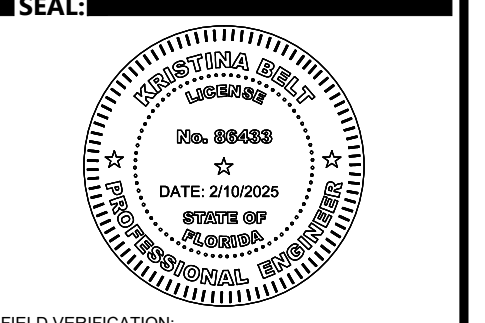


PRELIMINARY:
 Preliminary Documents are for design review only and not intended for bidding, negotiating, permitting, or construction purposes. They were prepared by or under the supervision of Zebra Architecture PLLC, Inc.

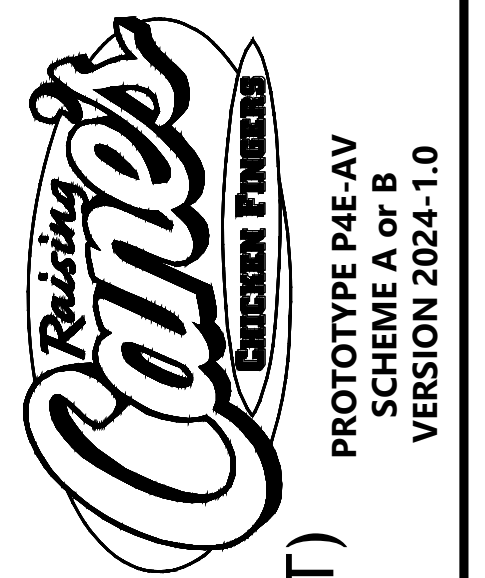


FIELD VERIFICATION:
 The Contractor shall verify all figured dimensions and conditions at the project site and notify Zebra Architecture, PLLC, of any dimensional errors, omissions or discrepancies before beginning or fabricating any work. Do not scale these drawings.
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CONSULTANT:
 Designer's Information:

Kimley»Horn
 445 24TH STREET, SUITE 200, VERO BEACH, FL 32960
 PHONE: 772-794-4100
 WWW.KIMLEY-HORN.COM
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KIMLEY HORN Project Manager: KB



RAISING CANE'S
 RESTAURANT NO.: #1307
 14025 BISCAYNE BLVD.
 (BISCAYNE BLVD & 143RD ST)
 MIAMI, FLORIDA 33154

REV	DATE	DESCRIPTION
#	10/01/24	PRELIMINARY PHOTO DEVELOPMENT
#	12/13/2024	CITY OF MIAMI BEACH COMMENTS
#	02/05/2025	TRAD COMMENTS #0 2

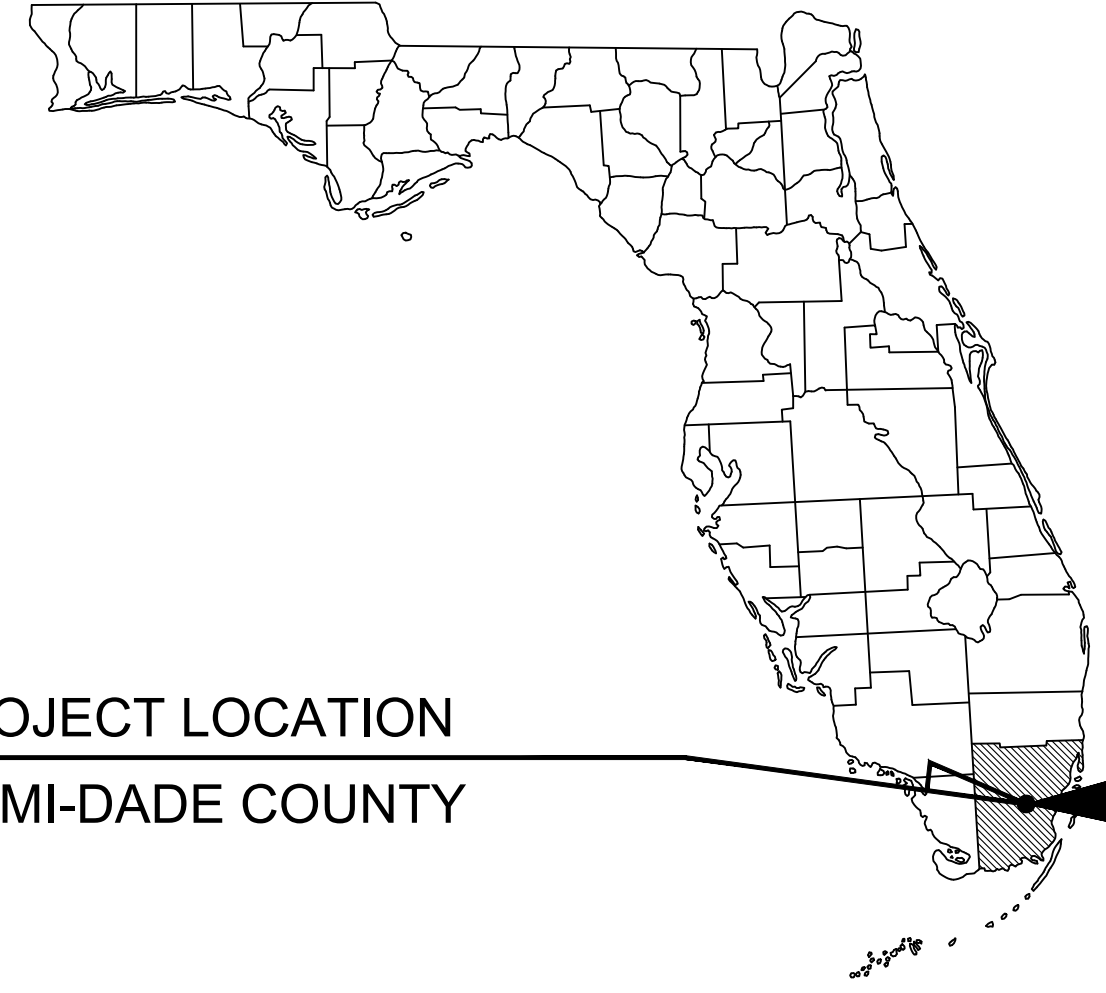
DRAWN BY: BPT
 CHECKED BY: KEB
ARCH. PROJECT NO.: 147793039
SHEET NAME: COVER SHEET
SHEET NUMBER: C1.0

CONSTRUCTION PLANS

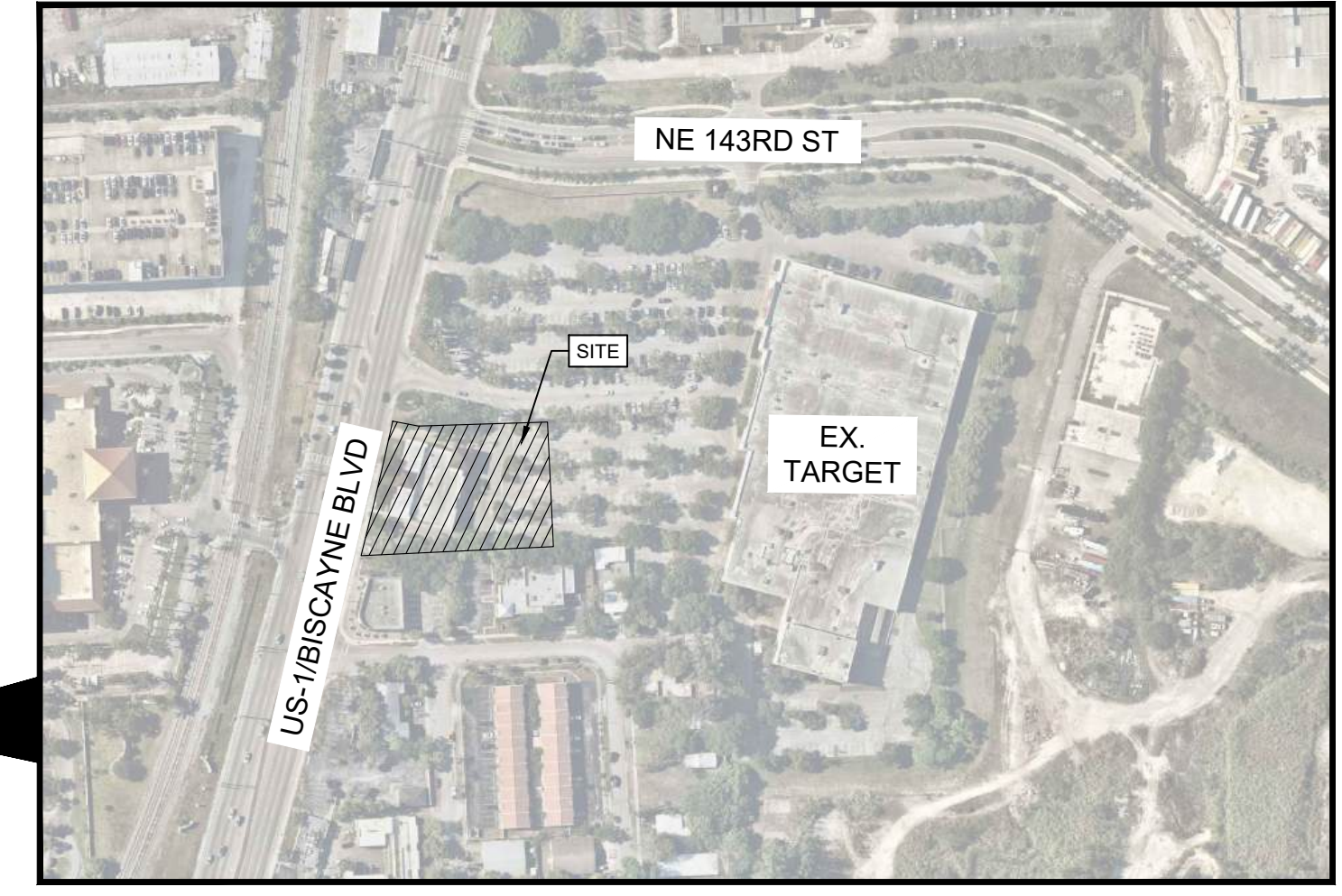


RESTAURANT #1307
14025 BISCAYNE BLVD
MIAMI-DADE COUNTY
FL 33181

SECTION 21 TOWNSHIP 52S RANGE 42E



PROJECT LOCATION
 MIAMI-DADE COUNTY



SITE LOCATION MAP
 (1" = 250')

NOTES:
 1. IF REPRODUCED, THE SCALES SHOWN ON THESE PLANS ARE BASED ON A 24" X 36" SHEET.

LEGAL DESCRIPTION:
 A PORTION OF TRACT "A", "ANNA LOUISA KAY SUBDIVISION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 149, PAGE 53, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGIN AT THE MOST WESTERLY SOUTHWEST CORNER OF SAID TRACT "A", A POINT ON THE EASTERLY RIGHT-OF-WAY LIMIT OF BISCAYNE BOULEVARD (U.S. HIGHWAY NO. 1) (STATE ROAD NO. 5), A POINT ON THE ARC OF A CIRCULAR CURVE, CONCAVE WESTERLY, THE RADIUS POINT OF WHICH BEARS NORTH 75°48'03" WEST, THENCE NORTHERLY ON SAID EASTERLY RIGHT-OF-WAY LIMIT AND ON THE ARC OF SAID CURVE, WITH A RADIUS OF 5,548.40 FEET, A CENTRAL ANGLE OF 02°03'29", FOR AN ARC DISTANCE OF 199.29 FEET; THENCE SOUTH 75°26'20" EAST 37.84 FEET; THENCE NORTH 88°12'56" EAST 186.42 FEET; THENCE SOUTH 02°41'57" EAST 180.03 FEET TO THE INTERSECTION WITH A SOUTH LINE OF SAID TRACT "A"; THENCE SOUTH 87°18'03" WEST ON SAID SOUTH LINE 277.71 FEET TO THE POINT OF BEGINNING.
 SAID LANDS SITUATE, LYING AND BEING IN THE CITY OF NORTH MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA, AND CONTAINING 45,836 SQUARE FEET, (1.0523 ACRES), MORE OR LESS.

BENCHMARKS

ELEVATIONS ARE BASED ON NORTH GEODETIC VERTICAL DATUM OF 1929.
 MIAMI-DADE COUNTY BENCHMARK: S-35; ELEVATION: 11.33 FEET.

DEWATERING NOTE
 THE GENERAL CONTRACTOR IS TO DEWATER THE SITE BASED ON THEIR MEANS AND METHODS FOR INSTALLATION OF UTILITIES AND UNDERGROUND WORK. ALL COSTS ASSOCIATED WITH DEWATERING SHALL BE INCLUDED IN THE BID.



Know what's below.
 Call before you dig.



GOVERNMENT/UTILITY CONTACTS

FIRE DEPARTMENT	FIRE PREVENTION MIAMI DADE FIRE RESCUE 11805 SW 26 STREET, SUITE 150 MIAMI, FL 33175 786-315-2771 MDFRPGENERAL@MIAMIDADE.GOV
CONTACT: RENATO RAMIREZ	
WATER PROVIDER	NMB WATER CITY OF NORTH MIAMI BEACH 17050 NE 19TH AVENUE NORTH MIAMI BEACH, FL 33162 305-948-2967 NICOLE.ROMANACH@CITYNMB.COM
CONTACT: NICOLE ROMANACH	
STORM DRAINAGE	DERM ENVIRONMENTAL RESOURCES MANAGEMENT 701 NW 1ST COURT - 6TH FLOOR MIAMI, FL 33136 305-372-6638 MAYRA.DETORRES@MIAMIDADE.GOV
CONTACT: MAYRA DE TORRES	
SANITARY PROVIDER	NMB WATER CITY OF NORTH MIAMI BEACH 17050 NE 19TH AVENUE NORTH MIAMI BEACH, FL 33162 305-948-2967 NICOLE.ROMANACH@CITYNMB.COM
CONTACT: NICOLE ROMANACH	
SANITARY PROVIDER	WATER AND SEWER DEPARTMENT CITY OF NORTH MIAMI BEACH 17050 NE 19TH AVENUE NORTH MIAMI BEACH, FL 33162 786-268-5367 EVANGELOS.MARSELLAS@MIAMIDADE.GOV
CONTACT: EVANGELOS MARSELLAS	
ENGINEERING	PUBLIC WORKS DEPARTMENT CITY OF NORTH MIAMI BEACH 17050 NE 19TH AVENUE NORTH MIAMI BEACH, FL 33162 305-948-2967 GREGORY.CHRISTIAN@CITYNMB.COM
CONTACT: GREGORY CHRISTIAN	
ELECTRIC COMPANY	FLORIDA POWER & LIGHT NORTHEAST SERVICE OFFICE 5106 NW 159TH ST. MIAMI LAKES, FL 33014305-626-7600 DADE-SERVICE-PLANNINGNEO@FPL.COM
CONTACT: EDUARDO REYES	
GAS COMPANY	TECO / PEOPLES GAS 15779 W. DIXIE HWY N. MIAMI BEACH, FL 33162 305-297-4763 MGSILVA@TECOENERGY.COM
CONTACT: GABRIELA SILVA	
TELEPHONE COMPANY	AT&T BUSINESS 844-387-6984
CONTACT: SARAH	
PLANNING & ZONING	PLANNING AND ZONING CITY OF NORTH MIAMI BEACH 17050 NE 19TH AVENUE NORTH MIAMI BEACH, FL 33162 305-948-2966 DANIEL.LORZANDIER@CITYNMB.COM
CONTACT: DANIEL LOZANDIER	
SIGNAGE	PLANNING AND ZONING CITY OF NORTH MIAMI BEACH 17050 NE 19TH AVENUE NORTH MIAMI BEACH, FL 33162 305-948-2966 DANIEL.LORZANDIER@CITYNMB.COM
CONTACT: DANIEL LOZANDIER	
BUILDING DEPARTMENT	BUILDING DEPARTMENT CITY OF NORTH MIAMI BEACH 17050 NE 19TH AVENUE NORTH MIAMI BEACH, FL 33162 305-948-2965 KEISHA.JONES@CITYNMB.COM
CONTACT: KEISHA JONES	
HEALTH	DIVISION OF HOTELS & RESTAURANTS FLORIDA DBPR 2601 BLAIR STONE RD TALLAHASSEE, FL 32399
CONTACT: LAKAYDRIA CLARK	

PLANS SUBMITTAL/REVIEW LOG

NO.	DESCRIPTION	DATE	MILESTONE
1	80% SET REVIEW	10/04/24	FOR REVIEW
2	CITY TRAD INITIAL SUBMITTAL	10/24/24	FOR REVIEW
3	CITY TRAD RESUBMITTAL	12/19/24	FOR REVIEW
4	CITY TRAD RESUBMITTAL	02/10/2025	FOR REVIEW

ENGINEER
Kimley»Horn
 445 24TH STREET - SUITE 200
 VERO BEACH, FL 32960
 772-794-4033
 CONTACT: KRISTINA BELT
 KRISTINA.BELT@KIMLEY-HORN.COM
 FL 86433

OWNER/DEVELOPER
ARCHITECT
zebra
 ZEBRA ARCHITECTURE, PLLC.
 14614 N KIERLAND BLVD.
 SUITE N300
 SCOTTSDALE, ARIZONA 85254
 PHONE: 480-912-1169 ZBR.GLOBAL
 CELL: +1 305-967-2986
 CONTACT: LISA BACELIS
 LISA.BACELIS@ZBR.GLOBAL.COM

SURVEYOR
PULICE LAND SURVEYORS, INC.
 5381 NOB HILL ROAD
 SUNRISE, FLORIDA 33351
 PHONE: 954-572-1777
 FAX: 954-572-1778
 CONTACT: CAROLYN SENCION
 CAROLYN@PULICELANDSURVEYORS.COM

Printed: Biscayne, Base Sheet: Section 21, Biscayne & NE 143rd, Town: COVER SHEET, February 10, 2025, 04:55:34am, K:\WEB_LIVE\Biscayne_Canals\1307_Biscayne & NE 143rd - North Miami Beach, FL\CD\Biscayne\1307_Cover.dwg

SITE PLAN REVIEW

Printed By: Tugple, Benj Sheet: Set: C1307 BISCAYNE & NE 140TH Layout: GENERAL NOTES February 10, 2025 05:13:59pm K:\VRB_LDEV\Relising_Corona\C1307 - Biscayne & NE 140th - North Miami Branch, FL\CAD\PlanSheets\C-NOTE.dwg

OVERALL:

- 1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THESE PLANS, LOCAL JURISDICTION STANDARD DETAILS AND SPECIFICATIONS. THE LOCAL GEOTECHNICAL REPORT AND ALL ISSUED ADDENDA, AND COMMONLY ACCEPTED CONSTRUCTION STANDARDS. THE LOCAL JURISDICTION SPECIFICATIONS SHALL GOVERN WHERE OTHER SPECIFICATIONS DO NOT EXIST. IN CASE OF CONFLICTING SPECIFICATIONS OR DETAILS, THE MORE RESTRICTIVE SPECIFICATION AND DETAIL SHALL BE FOLLOWED.
2. THE CONTRACTOR SHALL COMPLY WITH LOCAL JURISDICTION 'GENERAL NOTES' FOR CONSTRUCTION, IF EXISTING AND REQUIRED BY THE JURISDICTION. FOR INSTANCES WHERE THEY CONFLICT WITH THESE KH GENERAL NOTES, THEN THE MORE RESTRICTIVE SHALL APPLY.
3. THE LENGTH OF ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE AUTHORITIES' SPECIFICATIONS AND REQUIREMENTS.
4. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING TO DETERMINE EXISTING CONDITIONS.
5. THE EXISTING CONDITIONS SHOWN ON THESE PLANS WERE PROVIDED BY THE TOPOGRAPHIC SURVEY PREPARED BY THE PROJECT SURVEYOR, AND ARE BASED ON THE BENCHMARKS SHOWN. THE CONTRACTOR SHALL REFERENCE THE SAME BENCHMARKS.
6. THE CONTRACTOR SHALL REVIEW AND VERIFY THE EXISTING TOPOGRAPHIC SURVEY SHOWN ON THE PLANS REPRESENTS EXISTING FIELD CONDITIONS PRIOR TO CONSTRUCTION, AND SHALL REPORT ANY DISCREPANCIES FOUND TO THE OWNER AND ENGINEER IMMEDIATELY.
7. IF THE CONTRACTOR DOES NOT ACCEPT THE EXISTING TOPOGRAPHIC SURVEY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY AT THEIR OWN EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED PROFESSIONAL LAND SURVEYOR TO THE OWNER AND ENGINEER FOR REVIEW.
8. THE CONTRACTOR SHALL PROVIDE ALL CONSTRUCTION SURVEYING AND STAKING.
9. THE CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL CONTROL, INCLUDING BENCHMARKS PRIOR TO COMMENCING CONSTRUCTION OR STAKING OF IMPROVEMENTS. PROPERTY LINES AND CORNERS SHALL BE HELD AS THE HORIZONTAL CONTROL.
10. THE CONTRACTOR SHALL REVIEW AND VERIFY ALL DIMENSIONS, ELEVATIONS, AND FIELD CONDITIONS THAT MAY AFFECT CONSTRUCTION. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE ARCHITECT, ENGINEER, AND APPLICABLE LOCAL JURISDICTION AND OWNER. NO FIELD CHANGES SHALL BE MADE WITHOUT THE CONSENT OF THE LOCAL JURISDICTION, ENGINEER AND OWNER. IF THE OWNER IS NOT CONTACTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEM.
11. THE CONTRACTOR SHALL THOROUGHLY CHECK COORDINATION OF CIVIL, LANDSCAPE, MEP, ARCHITECTURAL, AND OTHER PLANS PRIOR TO COMMENCING CONSTRUCTION. OWNER/ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCY PRIOR TO COMMENCING WITH CONSTRUCTION.
12. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK TO HAVE THEM LOCATE THEIR EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE AN ADEQUATE MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION.
13. THE CONTRACTOR SHALL CALL SUNSHINE 811 AN ADEQUATE AMOUNT OF TIME PRIOR TO COMMENCING CONSTRUCTION OR ANY EXCAVATION.
14. THE CONTRACTOR SHALL USE EXTREME CAUTION AS THE SITE CONTAINS VARIOUS KNOWN AND UNKNOWN PUBLIC AND PRIVATE UTILITIES.
15. THE CONTRACTOR SHALL VERIFY DEPTH, AND DIMENSIONS OF EXISTING UTILITIES SHOWN ON THE PLANS WERE OBTAINED FROM AVAILABLE UTILITY COMPANY MAPS AND PLANS, AND ARE CONSIDERED APPROXIMATE AND INCOMPLETE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE PRESENCE, LOCATION, ELEVATION, DEPTH, AND DIMENSION OF EXISTING UTILITIES SUFFICIENTLY IN ADVANCE OF CONSTRUCTION SO THAT ADJUSTMENTS CAN BE MADE TO PROVIDE ADEQUATE CLEARANCES. THE ENGINEER SHALL BE NOTIFIED WHEN A FIELD DISCREPANCY OR CONFLICTS WITH AN EXISTING UTILITY COMPANY MAP IS IDENTIFIED.
16. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ANY ADJUSTMENTS AND RELOCATIONS OF EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS, INCLUDING BUT NOT LIMITED TO, ADJUSTING EXISTING MANHOLES TO MATCH PROPOSED GRADES, RELOCATING EXISTING POLES AND GUY WIRES, THE ARE LOCATED IN PUBLIC RIGHTS OF WAY, ADJUSTING THE HORIZONTAL OR VERTICAL ALIGNMENT OF EXISTING UNDERGROUND UTILITIES TO ACCOMMODATE PROPOSED GRADE OR CROSSING WITH A PROPOSED UTILITY, AND ANY OTHERS THAT MAY BE ENCOUNTERED THAT ARE UNKNOWN AT THIS TIME AND NOT SHOWN ON THESE PLANS.
17. THE CONTRACTOR SHALL ARRANGE FOR OR PROVIDE AT ITS OWN EXPENSE, ALL GAS, TELECOMMUNICATIONS, CABLE, OVERHEAD AND UNDERGROUND POWER LINE, AND UTILITY POLE ADJUSTMENTS NEEDED.
18. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING INSTALLATION OF FRANCHISE UTILITIES THAT ARE NECESSARY FOR ON-SITE AND OFF-SITE CONSTRUCTION, AND SERVICE TO THE PROJECT. ALL NECESSARY PERMITS, APPROVALS, AND BONDS PRIOR TO CONSTRUCTION SHALL BE FULLY RESPONSIBLE FOR ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ALL UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED BY THE CONTRACTOR AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
19. BRACING OF UTILITY POLES MAY BE REQUIRED BY THE UTILITY COMPANIES WHEN TRENCHING OR EXCAVATING IN CLOSE PROXIMITY TO THE POLES. THE COST OF BRACING POLES WILL BE BORNE BY THE CONTRACTOR, WITH NO SEPARATE PAY ITEM FOR THIS WORK. THE COST IS INCIDENTAL TO THE PAY ITEM.
20. THE CONTRACTOR SHALL USE ALL NECESSARY SAFETY PRECAUTIONS TO AVOID CONTACT WITH OVERHEAD AND UNDERGROUND POWER LINES. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE, FEDERAL AND FEDERAL OPERATIONAL REGULATIONS TO WORK SAFELY AND PROTECT THEMSELVES FROM INJURY.
21. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL REQUIRED CONSTRUCTION PERMITS, APPROVALS, AND BONDS PRIOR TO CONSTRUCTION.
22. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES A COPY OF THE CONTRACT DOCUMENTS INCLUDING PLANS, GEOTECHNICAL REPORT AND ADDENDA, PROJECT AND LOCAL JURISDICTION SPECIFICATIONS, AND SPECIAL CONDITIONS, COPIES OF ANY REQUIRED CONSTRUCTION PERMITS, EROSION CONTROL PLANS, SWPPP AND INSPECTION REPORTS.
23. ALL SHOP DRAWINGS AND OTHER DOCUMENTS THAT REQUIRE ENGINEER REVIEW SHALL BE SUBMITTED BY THE CONTRACTOR SUFFICIENTLY IN ADVANCE OF CONSTRUCTION OF THAT ITEM, SO THAT NO LESS THAN 10 BUSINESS DAYS FOR REVIEW AND RESPONSE IS AVAILABLE.
24. ALL NECESSARY INSPECTIONS AND CERTIFICATIONS REQUIRED BY CODES, JURISDICTIONAL AGENCIES, AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO USE OF THE FACILITY AND THE FINAL CONNECTION OF SERVICES.
25. THE CONTRACTOR SHALL ARRANGE FOR REQUIRED LOCAL JURISDICTION INSPECTIONS.
26. THE CONTRACTOR SHALL INCLUDE ALL INSTRUMENTATION, UTILITIES, VALVES, INLETS, ETC., IN THE PRESENTATION PURPOSES ONLY AND ARE NOT TO SCALE. (E.G. FIRE HYDRANT, METERS, VALVES, INLETS, ETC.) ARE FOR PRESENTATION PURPOSES ONLY AND ARE NOT TO SCALE. THE CONTRACTOR SHALL COORDINATE FINAL SIZES AND LOCATIONS WITH APPROPRIATE LOCAL JURISDICTION (ENGINEER).
27. THE SCOPE OF WORK FOR THE CIVIL IMPROVEMENTS SHOWN ON THESE PLANS TERMINATES 5-FEET FROM THE BUILDING, REFERENCE THE BUILDING PLANS (E.G. ARCHITECTURAL, STRUCTURAL, MEP) FOR AREAS WITHIN 5-FEET OF THE BUILDING AND WITHIN THE BUILDING FOOTPRINT.
28. REFERENCE TO ARCHITECTURAL AND STRUCTURAL PLANS FOR ALL FINAL BUILDING DIMENSIONS.
29. THE PROPOSED BUILDING FOOTPRINT(S) SHOWN IN THESE PLANS WAS PROVIDED TO KIMLEY-HORN AND ASSOCIATES, INC. (KH) BY THE PROJECT ARCHITECT AT THE TIME THESE PLANS WERE PREPARED. IT MAY NOT BE THE FINAL CORRECT VERSION BECAUSE THE BUILDING DESIGN WAS ONGOING. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONFIRMING THE FINAL CORRECT VERSION OF THE BUILDING FOOTPRINT WITH THE ARCHITECT AND STRUCTURAL ENGINEER PRIOR TO LAYOUT. DIMENSIONS AND/OR COORDINATES SHOWN ON THESE PLANS WERE BASED ON THE ABOVE STATED ARCHITECTURAL FOOTPRINT, AND ARE THEREFORE A PRELIMINARY LOCATION OF THE BUILDING. THE CONTRACTOR IS SOLELY RESPONSIBLE TO VERIFY WHAT PART OF THE BUILDING THE ARCHITECT'S FOOTPRINT REPRESENTS (E.G. SLAB, OUTSIDE WALL, MASONRY LEDGE, ETC., ...) AND TO CONFIRM ITS FINAL POSITION ON THE SITE BASED ON THE FINAL ARCHITECTURAL FOOTPRINT, CIVIL DIMENSION CONTROL PLAN, SURVEY BOUNDARY AND/OR PLAT. ANY DIFFERENCES FOUND SHALL BE REPORTED TO KH IMMEDIATELY.
30. THE CONTRACTOR SHALL COMPLY WITH THE PROJECTS FINAL GEOTECHNICAL REPORT (OR LATEST EDITION), INCLUDING SUBSEQUENT ADDENDA.
31. THE CONTRACTOR IS RESPONSIBLE FOR ALL MATERIALS TESTING AND CERTIFICATION, UNLESS SPECIFIED OTHERWISE BY OWNER. ALL MATERIALS TESTING SHALL BE COORDINATED WITH THE APPROPRIATE LOCAL JURISDICTION INSPECTOR AND COMPLY WITH LOCAL JURISDICTION STANDARD SPECIFICATIONS AND GEOTECHNICAL REPORT. TESTING SHALL BE PERFORMED BY AN APPROVED INDEPENDENT AGENCY FOR TESTING MATERIALS. OWNER SHALL APPROVE THE AGENCY NOMINATED BY THE CONTRACTOR FOR MATERIALS TESTING.
32. ALL COPIES OF MATERIALS TEST RESULTS SHALL BE SENT TO THE OWNER, ENGINEER AND ARCHITECT DIRECTLY FROM THE TESTING AGENCY.
33. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO SHOW, BY THE STANDARD TESTING PROCEDURES OF THE MATERIALS, THAT THE WORK CONSTRUCTED MEETS THE PROJECT REQUIREMENTS AND LOCAL JURISDICTION SPECIFICATIONS.
34. DUE TO THE POTENTIAL FOR DIFFERENTIAL SOIL MOVEMENT ADJACENT TO THE BUILDING, THE CONTRACTOR SHALL ADHERE TO GEOTECHNICAL REPORT'S RECOMMENDATION FOR SUBGRADE PREPARATION SPECIFIC TO FLATWORK ADJACENT TO THE PROPOSED BUILDING. THE OWNER AND CONTRACTOR ARE ADVISED TO OBTAIN A GEOTECHNICAL ENGINEER RECOMMENDATION SPECIFIC TO FLATWORK ADJACENT TO THE BUILDING, IF NONE IS CURRENTLY EXISTING.
35. ALL CONTRACTORS MUST CONFINE THEIR ACTIVITIES TO THE WORK AREA. NO ENCROACHMENTS OUTSIDE OF THE WORK AREA WILL BE ALLOWED. ANY DAMAGE RESULTING THEREFROM SHALL BE CONTRACTOR'S SOLE RESPONSIBILITY TO REPAIR.
36. THE CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES, UTILITIES, MANHOLES, POLES, GUY WIRES, VALVE COVERS, VAULT LIDS, FIRE HYDRANTS, COMMUNICATION BOXES/PEDESTALS, AND OTHER FACILITIES TO REMAIN AND SHALL REPAIR ANY DAMAGES AT NO COST TO THE OWNER.
37. THE CONTRACTOR SHALL IMMEDIATELY REPAIR OR REPLACE ANY PHYSICAL DAMAGE TO PRIVATE PROPERTY OR PUBLIC IMPROVEMENTS, INCLUDING BUT NOT LIMITED TO: FENCES, WALLS, SIGNS, PAVEMENT, CURBS, SIDEWALKS, GRASS, TREES, LANDSCAPING, AND IRRIGATION SYSTEMS, ETC., TO ORIGINAL CONDITION OR BETTER AT NO COST TO THE OWNER.
38. ALL AREAS IN EXISTING RIGHT-OF-WAY DISTURBED BY SITE CONSTRUCTION SHALL BE REPAIRED TO ORIGINAL CONDITION OR BETTER, INCLUDING AS NECESSARY GRADING, LANDSCAPING, CURBVERTS, AND PAVEMENT.
39. THE CONTRACTOR SHALL SALVAGE ALL EXISTING POWER POLES, SIGNS, WATER VALVES, FIRE HYDRANTS, METERS, ETC., THAT ARE TO BE RELOCATED DURING CONSTRUCTION.
40. THE CONTRACTOR SHALL MAINTAIN ADEQUATE DRAINAGE DURING ALL PHASES OF CONSTRUCTION, INCLUDING MAINTAINING EXISTING DITCHES OR CULVERTS FREE OF OBSTRUCTIONS AT ALL TIMES.
41. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND SUBMITTING A TRENCH SAFETY PLAN, PREPARED BY A PROFESSIONAL ENGINEER IN THE STATE OF FLORIDA, TO THE LOCAL JURISDICTION PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING TRENCH SAFETY REQUIREMENTS IN CONFORMANCE WITH LOCAL JURISDICTION, STATE, AND FEDERAL REQUIREMENTS, INCLUDING OSHA FOR ALL TRENCHES. NO OPEN TRENCHES SHALL BE ALLOWED OVERNIGHT WITHOUT PRIOR WRITTEN APPROVAL OF THE LOCAL JURISDICTION.
42. THE CONTRACTOR SHALL KEEP TRENCHES FREE FROM WATER.
43. THE CONTRACTOR SHALL PROVIDE COVERING FOR ALL TRENCHES.
44. SITE SAFETY IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
45. THESE PLANS DO NOT EXTEND TO OR INCLUDE DESIGNS OR SYSTEMS PERTAINING TO THE SAFETY OF THE CONTRACTOR OR ITS EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE ENGINEER'S SEAL HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTATION OF ALL REQUIRED SAFETY PROCEDURES AND PROGRAMS.
46. SIGNS RELATED TO SITE OPERATION OR SAFETY ARE NOT INCLUDED IN THESE PLANS.
47. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS, APPROVALS, AND APPROVAL BY THE LOCAL JURISDICTION PRIOR TO BEGINNING OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITTING REQUIREMENTS FOR THE CONSTRUCTION OFFICE, TRAILER, STORAGE, AND STAGING OPERATIONS AND LOCATIONS.
48. LIGHT POLES, SIGNS, AND OTHER OBSTRUCTIONS SHALL NOT BE PLACED IN ACCESSIBLE ROUTES.
49. ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE "FLORIDA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES - FDOT".
50. TOP RIM ELEVATIONS OF ALL EXISTING AND PROPOSED MANHOLES SHALL BE COORDINATED WITH TOP OF PAVEMENT OR FINISHED GRADE AND SHALL BE ADJUSTED TO BE FLUSH WITH THE ACTUAL FINISHED GRADE AT THE TIME OF PAVING.
51. THE CONTRACTOR SHALL ADJUST ALL EXISTING AND PROPOSED VALVES, FIRE HYDRANTS, AND OTHER UTILITY APPURTENANCES TO MATCH ACTUAL FINISHED GRADES AT THE TIME OF PAVING.
52. THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION SEQUENCING AND PHASING, AND SHALL CONTACT THE APPROPRIATE LOCAL JURISDICTION OFFICIALS, INCLUDING BUILDING OFFICIAL, ENGINEERING INSPECTOR, AND FIRE MARSHAL TO LEARN OF ANY REQUIREMENTS.
53. THE CONTRACTOR IS RESPONSIBLE FOR PREPARATION, SUBMITTAL, AND APPROVAL BY THE LOCAL JURISDICTION OF A TRAFFIC CONTROL PLAN PRIOR TO THE START OF CONSTRUCTION, AND THEN THE IMPLEMENTATION OF THE PLAN.
54. THE CONTRACTOR SHALL KEEP A NEAT AND ACCURATE RECORD OF CONSTRUCTION, INCLUDING ANY DEVIATIONS OR

- VARIANCES FROM THE PLANS.
55. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT PLANS TO THE ENGINEER AND LOCAL JURISDICTION DETAILS AND SPECIFICATIONS. THE LOCAL GEOTECHNICAL REPORT AND ALL ISSUED ADDENDA, AND COMMONLY ACCEPTED CONSTRUCTION STANDARDS, AND VARIATIONS FROM THESE PLANS MADE DURING CONSTRUCTION.
56. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL EROSION CONTROL AND WATER QUALITY REQUIREMENTS, LAWS, AND ORDINANCES THAT APPLY TO THE CONSTRUCTION SITE LAND DISTURBANCE.
57. THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE LOCAL JURISDICTION GENERAL PERMIT TO DISCHARGE UNDER THE FDEP PDES NO. 3.
58. THE CONTRACTOR SHALL SUBMIT A PLAN SHOWING AN EROSION CONTROL PLAN FOR THE PROJECT SHALL BE INSTALLED PRIOR TO THE START OF LAND DISTURBANCE.
59. ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS FOR THE PROJECT.
60. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR INSTALLATION, IMPLEMENTATION, MAINTENANCE, AND EFFECTIVENESS OF ALL EROSION CONTROL DEVICES, BEST MANAGEMENT PRACTICES (BMPs), AND FOR UPDATING THE EROSION CONTROL PLAN DURING CONSTRUCTION AS FIELD CONDITIONS CHANGE.
61. THE CONTRACTOR SHALL DOCUMENT THE DATES OF INSTALLATION, MAINTENANCE OR MODIFICATION, AND REMOVAL FOR EACH BMP EMPLOYED IN THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IF APPLICABLE.
62. AS STORM SEWER INLETS ARE INSTALLED ON-SITE, TEMPORARY EROSION CONTROL DEVICES SHALL BE INSTALLED AT EACH INLET PER APPROVED DETAIL.
63. THE EROSION CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL THE AREA IT PROTECTS HAS BEEN PERMANENTLY STABILIZED.
64. THE CONTRACTOR SHALL PROVIDE ADEQUATE EROSION CONTROL DEVICES NEEDED DUE TO PROJECT PHASING.
65. THE CONTRACTOR SHALL OBSERVE THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES AND MAKE FIELD ADJUSTMENTS AND MODIFICATIONS AS NEEDED TO PREVENT SEDIMENT FROM LEAVING THE SITE. IF THE EROSION CONTROL DEVICES DO NOT EFFECTIVELY CONTROL EROSION AND PREVENT SEDIMENTATION FROM WASHING OFF THE SITE, THEN THE CONTRACTOR SHALL NOTIFY THE ENGINEER.
66. OFF-SITE SOIL BORROW, SPOIL, AND STORAGE AREAS (IF APPLICABLE) ARE CONSIDERED AS PART OF THE PROJECT SITE AND MUST ALSO COMPLY WITH THE EROSION CONTROL REQUIREMENTS FOR THIS PROJECT. THIS INCLUDES THE INSTALLATION OF A TRENCH TO CONTROL EROSION AND SEDIMENTATION AND THE ESTABLISHMENT OF PERMANENT GROUND COVER ON DISTURBED AREAS SPECIFIC TO THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MODIFYING THE SWPPP AND EROSION CONTROL PLAN TO INCLUDE BMPs FOR ANY OFF-SITE THAT ARE NOT ANTICIPATED OR SHOWN ON THE EROSION CONTROL PLAN.
67. EXCESS SOILS, SPOIL, AND STORAGE SHALL BE LOCATED SUCH THAT THEY WILL NOT ADVERSELY AFFECT STORM WATER QUALITY. PROTECTIVE MEASURES SHALL BE PROVIDED IF NEEDED TO ACCOMPLISH THIS REQUIREMENT, SUCH AS COVERING OR ENCLOSING THE AREA WITH AN APPROPRIATE BARRIER.
68. THE CONTRACTOR SHALL MONITOR EROSION CONTROL DEVICES BMPs, DISTURBED AREAS, AND VEHICLE ENTRY AND EXITS WEEKLY AND WITHIN 24 HOURS OF ALL RAINFALL EVENTS OF 0.5 INCHES OR GREATER, AND KEEP A RECORD OF THIS INSPECTION IN THE SWPPP BOOKLET IF APPLICABLE, TO VERIFY THAT THE DEVICES AND EROSION CONTROL PLAN ARE FUNCTIONING PROPERLY.
69. THE CONTRACTOR SHALL CONSTRUCT A STABILIZED CONSTRUCTION ENTRANCE AT ALL PRIMARY POINTS OF ACCESS IN ACCORDANCE WITH LOCAL JURISDICTION SPECIFICATIONS. THE CONTRACTOR SHALL ENSURE THAT ALL CONSTRUCTION TRAFFIC USES THE STABILIZED ENTRANCE AT ALL TIMES FOR ALL INGRESS/EGRESS.
70. THE CONTRACTOR SHALL FOLLOW GOOD HOUSEKEEPING PRACTICES DURING CONSTRUCTION, ALWAYS CLEANING UP DIRT, SEDIMENT AND DIRT ONTO OFF-SITE ROADWAYS. ALL SEDIMENT AND DIRT FROM THE SITE THAT IS DEPOSITED ONTO AN OFF-SITE ROADWAY SHALL BE REMOVED IMMEDIATELY.
71. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL SILT AND DEBRIS FROM THE AFFECTED OFF-SITE ROADWAYS THAT ARE A RESULT OF THE CONSTRUCTION, AS WELL AS THE REMOVAL OF DEBRIS FROM THE TRUCKING AND FLOWING OF SEDIMENT AND DIRT ONTO OFF-SITE ROADWAYS. ALL SEDIMENT AND DIRT FROM THE SITE THAT IS DEPOSITED ONTO AN OFF-SITE ROADWAY SHALL BE REMOVED IMMEDIATELY.
72. WHEN WASHING OF VEHICLES IS REQUIRED TO REMOVE SEDIMENT PRIOR TO EXITING THE SITE, IT SHALL BE DONE IN AN AREA STABILIZED WITH CRUSHED STONE OR OTHER PERMANENT PAVING SURFACE ADJACENT TO THE WASHDOWN FACILITY.
73. THE CONTRACTOR SHALL INSTALL A TEMPORARY SEDIMENT BASIN FOR ANY ON-SITE DRAINAGE AREAS THAT ARE GREATER THAN 10 ACRES. PER LOCAL JURISDICTION STANDARDS. IF NO ENGINEERING DESIGN HAS BEEN PROVIDED FOR A SEDIMENTATION BASIN ON THESE PLANS, THEN THE CONTRACTOR SHALL ARRANGE FOR AN APPROPRIATE DESIGN TO BE PROVIDED.
74. ALL FINES IMPOSED FOR SEDIMENT OR DIRT DISCHARGED FROM THE SITE SHALL BE PAID BY THE RESPONSIBLE CONTRACTOR.
75. SEDIMENT OR DIRT HAS CLOGGED THE CONSTRUCTION ENTRANCE VOID SPACES BETWEEN STONES OR DIRT IS BEING TRACKED ONTO A ROADWAY, THE AGGREGATE PAD MUST BE WASHED DOWN OR REPLACED. RUNOFF FROM THE WASH-DOWN OPERATION SHALL NOT BE ALLOWED TO DRAIN DIRECTLY OFF SITE WITHOUT FIRST FLOWING THROUGH ANOTHER BMP TO CONTROL SEDIMENTATION. PERIODIC RE-GRADING OR NEW STONE MAY BE REQUIRED TO MAINTAIN THE EFFECTIVENESS OF THE CONSTRUCTION ENTRANCE.
76. TEMPORARY SEEDING OR OTHER APPROVED STABILIZATION SHALL BE INITIATED WITHIN 14 DAYS OF THE LAST DISTURBANCE OF ANY AREA, UNLESS ADDITIONAL CONSTRUCTION IN THE AREA IS EXPECTED WITHIN 21 DAYS OF THE LAST DISTURBANCE.
77. THE CONTRACTOR SHALL FOLLOW GOOD HOUSEKEEPING PRACTICES DURING CONSTRUCTION, ALWAYS CLEANING UP DIRT, LOOSE MATERIAL, AND TRASH AS CONSTRUCTION PROGRESSES.
78. UPON COMPLETION OF FINE GRADING, ALL SURFACES OF DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED. STABILIZATION IS ACHIEVED WHEN THE AREA IS EITHER COVERED BY PERMANENT IMPERVIOUS STRUCTURES, SUCH AS UTILITY CURBS, SIDEWALK, PAVEMENT, OR A UNIFORM PERENNIAL VEGETATIVE COVER.
79. AT THE CONCLUSION OF THE PROJECT, ALL INLETS, DRAIN PIPE, CHANNELS, DRAINAGEWAYS AND BORROW DITCHES AFFECTED BY THE CONSTRUCTION SHALL BE DREDGED, AND THE SEDIMENT GENERATED BY THE PROJECT SHALL BE REMOVED AND DISPOSED IN ACCORDANCE WITH APPLICABLE REGULATIONS.

STORM WATER DISCHARGE AUTHORIZATION:

- 1. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL JURISDICTION AND FDEP STORM WATER POLLUTION PREVENTION REQUIREMENTS.
2. THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE SWPMD.
3. THE CONTRACTOR SHALL ENSURE THAT ALL PRIMARY OPERATORS SUBMIT A NOI TO LOCAL JURISDICTION AT LEAST SEVEN DAYS PRIOR TO COMMENCING CONSTRUCTION. ALL PRIMARY OPERATORS SHALL PROVIDE A COPY OF THE SIGNED NOI TO THE OPERATOR OF A ANY MSA LOCAL JURISDICTION RECEIVING DISCHARGE FROM THE SITE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING IMPLEMENTATION OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IF APPLICABLE, INCLUDING POSTING SITE NOTICE, INSPECTIONS, DOCUMENTATION, AND SUBMISSION OF ANY INFORMATION REQUIRED BY THE LOCAL JURISDICTION AND EPA (E.G. NOI).
5. ALL CONTRACTORS AND SUBCONTRACTORS PROVIDING SERVICES RELATED TO THE SWPPP SHALL SIGN THE REQUIRED CONTRACTOR CERTIFICATION AND SUBMIT THE CERTIFICATION TO THE LOCAL JURISDICTION PRIOR TO CONSTRUCTION.
6. A COPY OF THE SWPPP, INCLUDING NOI, SITE NOTICE, CONTRACTOR CERTIFICATIONS, AND ANY REVISIONS, SHALL BE SUBMITTED TO THE LOCAL JURISDICTION BY THE CONTRACTOR AND SHALL BE RETAINED ON-SITE DURING CONSTRUCTION.
7. PRIVATE CURB RAMPS ON THE CONSTRUCTION SITE SHALL BE COMPLETED AND A UNIFORM VEGETATIVE COVER HAS BEEN ESTABLISHED ON ALL UNPAVED AREAS AND AREAS NOT COVERED BY STRUCTURES, A TRANSFER OF OPERATIONAL CONTROL, HAS OCCURRED, OR THE OPERATOR HAS OBTAINED ALTERNATIVE AUTHORIZATION UNDER A DIFFERENT PERMIT. A COPY OF THE NOI SHALL BE PROVIDED TO THE OPERATOR OF ANY MSA RECEIVING DISCHARGE FROM THE SITE.

DEMOLITION:

- 1. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS EMPLOYED BY THE CONTRACTOR TO IMPLEMENT THIS DEMOLITION PLAN. THIS PRELIMINARY DEMOLITION PLAN SIMPLY INDICATES THE KNOWN OBJECTS ON THE SUBJECT TRACT THAT ARE TO BE DEMOLISHED AND REMOVED FROM THE SITE.
2. KH DOES NOT WARRANT OR REPRESENT THAT THE PLAN, WHICH WAS PREPARED BASED ON SURVEY AND UTILITY INFORMATION PROVIDED BY OTHERS, SHOWS ALL IMPROVEMENTS AND UTILITIES THAT THE IMPROVEMENTS AND UTILITIES ARE SHOWN ACCURATELY, OR THAT THE UTILITIES SHOWN CAN BE REMOVED. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING ITS OWN SITE RECONNAISSANCE TO SCOPE ITS WORK AND TO CONFIRM WITH THE OWNERS OF IMPROVEMENTS AND UTILITIES THAT THE UTILITIES SHOWN CAN BE REMOVED. THIS PLAN IS INTENDED TO GIVE A GENERAL GUIDE TO THE CONTRACTOR, NOTHING MORE. THE GOAL OF THE DEMOLITION IS TO LEAVE THE SITE IN A STATE SUITABLE FOR THE CONSTRUCTION OF THE PROPOSED DEVELOPMENT. REMOVAL OR PRESERVATION OF IMPROVEMENTS, UTILITIES, ETC. TO ACCOMPLISH THIS GOAL ARE THE RESPONSIBILITY OF THE CONTRACTOR.
3. THE CONTRACTOR IS STRONGLY CAUTIONED TO REVIEW THE FOLLOWING REPORTS DESCRIBING SITE CONDITIONS PRIOR TO BIDDING AND IMPLEMENTING THE DEMOLITION PLAN:

 - a. ENVIRONMENTAL SITE ASSESSMENT PREPARED BY THE OWNER.
 - b. ASBESTOS BUILDING INSPECTION REPORT(S) PROVIDED BY THE OWNER.
 - c. GEOTECHNICAL REPORT PROVIDED BY THE OWNER.
 - d. OTHER REPORTS THAT ARE APPLICABLE AND AVAILABLE.
 - e. THE CONTRACTOR SHALL CONTACT THE OWNER TO VERIFY WHETHER ADDITIONAL REPORTS OR AMENDMENTS TO THE ABOVE CITED REPORTS HAVE BEEN PREPARED AND TO OBTAIN/REVIEW/AND COMPLY WITH THE RECOMMENDATION OF SUCH STUDIES PRIOR TO STARTING ANY WORK ON THE SITE.

4. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS REGARDING THE DEMOLITION OF OBJECTS ON THE SITE AND THE DISPOSAL OF THE DEMOLISHED MATERIALS OFF-SITE. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO REVIEW THE SITE, DETERMINE THE APPLICABLE REGULATIONS, RECEIVE THE REQUIRED PERMITS AND AUTHORIZATIONS, AND COMPLY.
5. KH DOES NOT REPRESENT THAT THE REPORTS AND SURVEYS REFERENCED ABOVE ARE ACCURATE, COMPLETE, OR COMPREHENSIVE SHOWING ALL ITEMS THAT WILL NEED TO BE DEMOLISHED AND REMOVED.
6. SURFACE PAVEMENT INDICATED MAY OVERLAY OTHER HIDDEN STRUCTURES, SUCH AS ADDITIONAL LAYERS OF PAVEMENT, FOUNDATIONS OR WALLS, THAT ARE ALSO TO BE REMOVED.

GRADING:

- 1. THE CONTRACTOR AND GRADING SUBCONTRACTOR SHALL VERIFY THE SUITABILITY OF EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE START OF CONSTRUCTION. THE CIVIL ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
2. THE CONTRACTOR SHALL OBTAIN ANY REQUIRED GRADING PERMITS FROM THE LOCAL JURISDICTION.
3. UNLESS OTHERWISE NOTED, PROPOSED ELEVATIONS AND SPOT ELEVATIONS SHOWN IN PLAN AREA REFLECT TOP OF PAVEMENT SURFACE. IN LOCATIONS ALONG A CURB LINE, ADD 6-INCHES (OR THE HEIGHT OF THE CURB) TO THE PAVING GRADE FOR TOP OF CURB ELEVATION.
4. PROPOSED SPOT ELEVATIONS AND CONTOURS OUTSIDE THE PAVEMENT ARE TO TOP OF FINISHED GRADE.
5. PROPOSED CONTOURS ARE APPROXIMATE. PROPOSED SPOT ELEVATIONS AND DESIGNATED GRADIENT ARE TO BE USED IN CASE OF DISCREPANCY.
6. ALL FINISHED GRADES SHALL TRANSITION UNIFORMLY BETWEEN THE FINISHED ELEVATIONS SHOWN.
7. THE CURBS AND SPOT GRADES SHOWN IN THESE PLANS ARE TO BE VERIFIED WHEN PERFORMING THE GRADING OPERATIONS. THE CONTRACTOR SHALL PROVIDE AN APPROPRIATE ELEVATION HOLD-DOWN ALLOWANCE FOR THE THICKNESS OF PAVEMENT, SIDEWALK, TOPSOIL, MULCH, STONE, LANDSCAPING, RIP-RAP AND ALL OTHER SURFACE MATERIALS TO BE PLACED ON TOP OF FINISHED GRADE. FOR EXAMPLE, THE LIMITS OF EARTHWORK IN PAVED AREAS IS THE BOTTOM OF THE PAVEMENT SECTION.
8. NO REPRESENTATIONS OF EARTHWORK QUANTITIES OR SITE BALANCE ARE MADE BY THESE PLANS. THE CONTRACTOR SHALL PROVIDE THEIR OWN EARTHWORK CALCULATION TO DETERMINE THEIR CONTRACT QUANTITIES AND COST. ANY SIGNIFICANT VARIANCE FROM A BALANCED SITE SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE CIVIL ENGINEER.
9. ALL GRADING AND EARTHWORK SHALL COMPLY WITH THE PROJECTS FINAL GEOTECHNICAL REPORT (OR LATEST EDITION), INCLUDING SUBSEQUENT ADDENDA.
10. ALL EXCAVATION IS UNCLASSIFIED AND SHALL INCLUDE ALL MATERIALS ENCOUNTERED. UNUSABLE EXCAVATED MATERIAL AND ALL WASTE RESULTING FROM SITE CLEARING AND GRUBBING SHALL BE REMOVED FROM THE SITE AND APPROPRIATELY DISPOSED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE.
11. EROSION CONTROL DEVICES SHOWN ON THE EROSION CONTROL PLAN FOR THE PROJECT SHALL BE INSTALLED PRIOR TO THE START OF GRADING. REFERENCE EROSION CONTROL PLAN, DETAILS, GENERAL NOTES, AND SWPPP FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
12. BEFORE ANY EARTHWORK IS PERFORMED, THE CONTRACTOR SHALL STAKE OUT AND MARK THE LIMITS OF THE PROJECTS PROPERTY LINE AND SITE IMPROVEMENTS. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY ENGINEERING AND SURVEYING FOR LINE AND GRADE CONTROL POINTS RELATED TO EARTHWORK.

- 13. THE CONTRACTOR TO DISPOSE OF ALL EXCESS EXCAVATION MATERIALS IN A MANNER THAT ADHERES TO LOCAL, STATE AND FEDERAL LAWS AND REGULATIONS. THE CONTRACTOR SHALL KEEP A RECORD OF WHERE EXCESS EXCAVATION WAS DISPOSED, ALONG WITH THE RECEIVING LANDOWNER'S APPROVAL AND A RECORD OF WHERE EXCESS EXCAVATION WAS TOSPOIL.
14. THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF TOPSOIL AT THE COMPLETION OF FINE GRADING. THE CONTRACTOR SHALL REFER TO LANDSCAPE ARCHITECTURE PLANS FOR SPECIFICATIONS AND REQUIREMENTS FOR TOPSOIL.
15. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SITE DRAINAGE DURING ALL PHASES OF CONSTRUCTION, INCLUDING MAINTAINING EXISTING DITCHES OR CULVERTS FREE OF OBSTRUCTIONS AT ALL TIMES.
16. NO EARTHWORK FILL SHALL BE PLACED IN ANY EXISTING DRAINAGE WAY, SWALE, CHANNEL, DITCH, CREEK, OR FLOODPLAIN.
17. THE CONTRACTOR SHALL CLEAR AND GRUB THE SITE IN AND PLACE COVERING WITH LOCAL JURISDICTION STANDARD TREE PROTECTION DETAILS AND THE APPROVED TREE PRESERVATION PLANS BY THE LANDSCAPE ARCHITECT.
18. REFER TO DIMENSION CONTROL PLAN, AND PLAT FOR HORIZONTAL DIMENSIONS.
19. THE CONTRACTOR SHALL CLEAR AND GRUB THE SITE IN AND PLACE COVERING WITH LOCAL JURISDICTION STANDARD TREE PROTECTION DETAILS AND THE APPROVED TREE PRESERVATION PLANS BY THE LANDSCAPE ARCHITECT.
20. THE CONTRACTOR IS RESPONSIBLE FOR ALL SOILS TESTING AND CERTIFICATION, UNLESS SPECIFIED OTHERWISE BY OWNER. ALL SOILS TESTING SHALL BE COORDINATED WITH THE APPROPRIATE LOCAL JURISDICTION INSPECTOR AND SHALL COMPLY WITH LOCAL JURISDICTION STANDARD SPECIFICATIONS AND THE GEOTECHNICAL REPORT. SOILS TESTING SHALL BE PERFORMED BY AN APPROVED INDEPENDENT AGENCY FOR TESTING SOILS. THE OWNER SHALL APPROVE THE AGENCY NOMINATED BY THE CONTRACTOR FOR SOILS TESTING.
21. ALL COPIES OF SOILS TEST RESULTS SHALL BE SENT TO THE OWNER, ENGINEER AND ARCHITECT DIRECTLY FROM THE TESTING AGENCY.
22. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO SHOW, BY THE STANDARD TESTING PROCEDURES OF THE SOILS, THAT THE WORK CONSTRUCTED MEETS THE PROJECT REQUIREMENTS AND LOCAL JURISDICTION SPECIFICATIONS.
23. THE SCOPE OF WORK FOR CIVIL IMPROVEMENT SHOWN ON THESE PLANS TERMINATES 5-FEET FROM THE BUILDING. THE CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT AND STRUCTURAL PLANS AND SPECIFICATIONS FILL.
24. DUE TO THE POTENTIAL FOR DIFFERENTIAL SOIL MOVEMENT ADJACENT TO THE BUILDING, THE CONTRACTOR SHALL ADHERE TO GEOTECHNICAL REPORT'S RECOMMENDATION FOR SUBGRADE PREPARATION SPECIFIC TO FLATWORK ADJACENT TO THE PROPOSED BUILDING. THE OWNER AND CONTRACTOR ARE ADVISED TO OBTAIN A GEOTECHNICAL ENGINEER RECOMMENDATION SPECIFIC TO FLATWORK ADJACENT TO THE BUILDING, IF NONE IS CURRENTLY EXISTING.
25. THE CONTRACTOR SHALL ENSURE THAT SUFFICIENT POSITIVE SLOPE AWAY FROM THE BUILDING PAD IS ACHIEVED FOR ENTIRE PERIMETER OF THE PROPOSED BUILDING(S) DURING GRADING OPERATIONS AND IN THE FINAL CONDITION. IF THE CONTRACTOR OBSERVES THAT THIS WILL NOT BE ACHIEVED, THE CONTRACTOR SHALL CONTACT THE ENGINEER TO REVIEW THE LOCATION.
26. THE CONTRACTOR SHALL TAKE ALL AVAILABLE PRECAUTIONS TO CONTROL DUST. THE CONTRACTOR SHALL CONTROL DUST BY SPRINKLING WATER, OR BY OTHER MEANS APPROVED BY THE LOCAL JURISDICTION, AT NO ADDITIONAL COST TO THE OWNER.
27. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES FOR ANY REQUIRED UTILITY ADJUSTMENTS AND/OR RELOCATIONS NEEDED FOR GRADING OPERATIONS AND TO ACCOMMODATE PROPOSED GRADE, INCLUDING THE UNKNOWN UTILITIES NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL REFER TO THE GENERAL NOTES 'OVERALL' SECTION THESE PLANS FOR ADDITIONAL INFORMATION.
28. EXISTING TREE LOCATIONS SHOWN ON THESE PLANS ARE APPROXIMATE. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES FOUND IN THE FIELD TO THE ENGINEER, REPORT THEN THE MORE RESTRICTIVE SHALL BE FOLLOWED.
29. THE CONTRACTOR SHALL FIELD VERIFY ALL PROTECTED TREE LOCATIONS, INDIVIDUAL PROTECTED TREE CRITICAL ZONES, AND PROPOSED SITE GRADING, AND NOTIFY THE CIVIL ENGINEER AND LANDSCAPE ARCHITECT OF ANY CONFLICTS WITH THE TREE PRESERVATION PLAN BY THE LANDSCAPE ARCHITECT PRIOR TO COMMENCING THE WORK.
30. TREE PROTECTION SHALL BE PRESERVED AND MAINTAINED THROUGHOUT CONSTRUCTION. TREE PROTECTION SHALL BE PRESERVED THROUGHOUT CONSTRUCTION. TREE PROTECTION SHALL BE PRESERVED THROUGHOUT CONSTRUCTION. TREE PROTECTION SHALL BE PRESERVED THROUGHOUT CONSTRUCTION.
31. THE CONTRACTOR SHALL REFER TO THE LANDSCAPING AND TREE PRESERVATIONS PLANS FOR ALL INFORMATION AND DETAILS REGARDING EXISTING TREES TO BE PRESERVED AND MAINTAINED THROUGHOUT CONSTRUCTION.
32. NO TREE SHALL BE REMOVED UNLESS A TREE REMOVAL PERMIT HAS BEEN ISSUED BY THE LOCAL JURISDICTION, OR LOCAL JURISDICTION HAS OTHERWISE CONFIRMED IN WRITING THAT ONE IS NOT NEEDED FOR THE TREE(S).
33. NO TREE SHALL BE REMOVED OR DAMAGED WITHOUT PRIOR AUTHORIZATION OF THE OWNER OR OWNER'S REPRESENTATIVE. EXISTING TREES SHALL BE PRESERVED AND MAINTAINED THROUGHOUT CONSTRUCTION.
34. AFTER PLACEMENT OF SUBGRADE AND PRIOR TO PLACEMENT OF PAVEMENT, CONTRACTOR SHALL TEST AND OBSERVE PAVEMENT AREAS FOR EVIDENCE OF PONDING AND INADEQUATE SLOPE FOR DRAINAGE. ALL AREAS SHALL ADEQUATELY DRAIN TOWARDS THE INTENDED STAGING AREA OR DRAINAGE RUNOFF. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER AND ENGINEER IF ANY AREAS OF POOR DRAINAGE ARE DISCOVERED.
35. THE CONTRACTOR FIELD ADJUSTMENT OF PROPOSED SPOT GRADES IS ALLOWED, IF THE APPROVAL OF THE CIVIL ENGINEER IS OBTAINED.

PAVING:

- 1. ALL PAVING MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THESE PLANS, THE LOCAL JURISDICTION STANDARD DETAILS AND SPECIFICATIONS, AND COMMONLY ACCEPTED CONSTRUCTION STANDARDS. THE LOCAL JURISDICTION SPECIFICATIONS SHALL GOVERN WHERE OTHER SPECIFICATIONS DO NOT EXIST. IN CASE OF CONFLICTING SPECIFICATIONS OR DETAILS, THE MORE RESTRICTIVE SPECIFICATION/DETAIL SHALL BE FOLLOWED.
2. ALL PRIVATE STORM SEWER CONSTRUCTION, PIPE, STRUCTURES, AND FITTINGS SHALL ADHERE TO LOCAL JURISDICTION STANDARD DETAILS AND SPECIFICATIONS.
3. ALL FIRELANE PAVING AND PAVING SUBGRADE SHALL COMPLY WITH LOCAL JURISDICTION STANDARDS AND DETAILS. IF THESE ARE DIFFERENT THAN THOSE SHOWN ON THESE PLANS, THE MORE RESTRICTIVE SHALL BE FOLLOWED.
4. ALL PUBLIC PAVING AND PAVING SUBGRADE SHALL COMPLY WITH LOCAL JURISDICTION STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS.
5. THE CONTRACTOR IS RESPONSIBLE FOR ALL PAVING AND PAVING SUBGRADE TESTING AND CERTIFICATION, UNLESS SPECIFIED OTHERWISE BY OWNER. ALL PAVING AND PAVING SUBGRADE TESTING SHALL BE COORDINATED WITH THE APPROPRIATE LOCAL JURISDICTION INSPECTOR. TESTING SHALL BE PERFORMED BY AN APPROVED INDEPENDENT AGENCY FOR TESTING PAVING AND SUBGRADE. OWNER SHALL APPROVE THE AGENCY NOMINATED BY THE CONTRACTOR FOR PAVING AND PAVING SUBGRADE. THAT THE WORK CONSTRUCTED MEETS THE PROJECT REQUIREMENTS AND LOCAL JURISDICTION STANDARD DETAILS AND SPECIFICATIONS.
6. DUE TO THE POTENTIAL FOR DIFFERENTIAL SOIL MOVEMENT ADJACENT TO THE BUILDING, THE CONTRACTOR SHALL ADHERE TO GEOTECHNICAL REPORT'S RECOMMENDATION FOR SUBGRADE PREPARATION SPECIFIC TO FLATWORK ADJACENT TO THE PROPOSED BUILDING. THE OWNER AND CONTRACTOR ARE ADVISED TO OBTAIN A GEOTECHNICAL ENGINEER RECOMMENDATION SPECIFIC TO FLATWORK ADJACENT TO THE BUILDING, IF NONE IS CURRENTLY EXISTING.
7. CURB RAMPS ALONG PUBLIC STREETS AND IN THE PUBLIC RIGHT-OF-WAY SHALL BE CONSTRUCTED BASED ON THE LOCAL JURISDICTION STANDARD CONSTRUCTION DETAIL AND SPECIFICATIONS.
8. CURB RAMPS ALONG PUBLIC STREETS AND IN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO ADA AND ADA STANDARDS.
9. ALL ACCESSIBLE RAMPS, CURB RAMPS, STRIPING, AND PAVEMENT MARKINGS SHALL CONFORM TO ADA AND ADA STANDARDS, LATEST EDITION.
10. ANY COMPONENTS OF THE PROJECT SUITABLE TO RESIDENTIAL USE SHALL ALSO CONFORM TO THE FAIR HOUSING ACT, AND COMPLY WITH THE FAIR HOUSING ACT DESIGN MANUAL BY THE US DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT.
11. THE CONTRACTOR SHALL CONSTRUCT PROPOSED PAVEMENT TO MATCH EXISTING PAVEMENT WITH A SMOOTH, FLUSH, WORK.
12. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS FOR FIRE LANES, PARKING STALLS, HANDICAPPED PARKING SYMBOLS, AND MISCELLANEOUS STRIPING WITHIN PARKING LOT AND AROUND BUILDING AS SHOWN ON THE PLANS.
13. ALL PAINT AND PAVEMENT MARKINGS SHALL ADHERE TO LOCAL JURISDICTION AND OWNER STANDARDS.
14. REFER TO GEOTECHNICAL REPORT AND UTILITY REPORTS THAT THE IMPROVEMENT PAVEMENT.
15. REFER TO LOCAL JURISDICTION STANDARD DETAILS AND SPECIFICATIONS FOR JOINT LAYOUT PLAN REQUIREMENTS FOR PAVEMENT PAVEMENT.
16. ALL REINFORCING STEEL SHALL CONFORM TO THE GEOTECHNICAL REPORT, LOCAL JURISDICTION STANDARDS, AND ASTM A-615, GRADE 60, AND SHALL BE SUPPORTED BY BAR CHAIRS. THE CONTRACTOR SHALL USE THE MORE STRINGENT OF THE LOCAL JURISDICTION AND GEOTECHNICAL STANDARDS.
17. ALL JOINTS SHALL EXTEND THROUGH THE CURB.
18. THE MINIMUM LENGTH OF OFFSET JOINTS AT RADIUS POINTS SHALL BE 2 FEET.
19. THE CONTRACTOR SHALL SUBMIT A JOINTING PLAN TO THE ENGINEER AND OWNER PRIOR TO BEGINNING ANY OF THE PAVING WORK.
20. ALL SAWCUTS SHALL BE FULL DEPTH FOR PAVEMENT REMOVAL AND CONNECTION TO EXISTING PAVEMENT.
21. FIRE LANES SHALL BE MARKED AND LABELED AS A FIRELANE PER LOCAL JURISDICTION STANDARDS.
22. UNLESS THE PLANS SPECIFICALLY DICTATE TO THE CONTRARY, ON-SITE AND OTHER DIRECTIONAL SIGNS SHALL BE ORIENTED SO THEY ARE READILY VISIBLE TO THE ONCOMING TRAFFIC FOR WHICH THEY ARE INTENDED.
23. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING NECESSARY CONDUIT FOR LIGHTING, IRRIGATION, ETC. PRIOR TO PLACEMENT OF PAVEMENT. ALL CONSTRUCTION DOCUMENTS (CIVIL, MEP, LANDSCAPE, IRRIGATION, AND ARCHITECT) SHALL BE CONSULTED.
24. BEFORE PLACING PAVEMENT, CONTRACTOR SHALL VERIFY THAT SUITABLE ACCESSIBLE PEDESTRIAN ROUTES (PER ADA, AHJ, AND FHA) EXIST TO AND FROM EVERY DOOR AND ALONG SIDEWALKS, ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND ACCESSIBLE ROUTES. IN NO CASE SHALL AN ACCESSIBLE RAMP SLOPE EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPE EXCEED 2.0 PERCENT. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPE EXCEED 0.8 PERCENT. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 2.0 PERCENT SLOPE IN ANY DIRECTION.
25. THE CONTRACTOR SHALL TAKE FIELD SLOPE MEASUREMENTS ON FINISHED SUBGRADE AND FORM BOARDS PRIOR TO PLACING PAVEMENT TO VERIFY THAT ADA/ASLOPE REQUIREMENTS ARE PROVIDED. THE CONTRACTOR SHALL CONTACT ENGINEER PRIOR TO PAVING IF ANY ACCESSIBLE SLOPES ARE ENCOUNTERED. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR ADA AND ADASLOPE COMPLIANCE ISSUES.

STORM DRAINAGE:

- 1. ALL STORM SEWER MATERIALS AND CONSTRUCTION SHALL COMPLY WITH LOCAL JURISDICTION STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS.
2. THE SITE UTILITY CONTRACTOR SHALL PROVIDE ALL MATERIALS AND APPURTENANCES NECESSARY FOR COMPLETE INSTALLATION OF THE STORM SEWER.
3. THE CONTRACTOR SHALL FIELD VERIFY THE SIZE, CONDITION, HORIZONTAL, AND VERTICAL LOCATIONS OF ALL EXISTING STORM SEWER FACILITIES THAT ARE TO BE CONNECTED TO, PRIOR TO START OF CONSTRUCTION OF ANY STORM SEWER, AND SHALL NOTIFY THE ENGINEER OF ANY CHANGES TO THE EXISTING FACILITIES.
4. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL DIMENSIONS SHOWN, INCLUDING THE HORIZONTAL AND VERTICAL LOCATION OF CURB INLETS AND GRADE INLETS AND ALL UTILITIES CROSSING THE STORM SEWER.
5. FLOW LINE, TOP-OF-CURB, RIM, THROAT, AND GRATE ELEVATIONS OF PROPOSED INLETS SHALL BE VERIFIED WITH THE GRADING PLAN AND FIELD CONDITIONS PRIOR TO CONSTRUCTION OF ALL STORM SEWER LINES.
6. ALL PUBLIC STORM SEWER CONSTRUCTION, PIPE, STRUCTURES, AND FITTINGS SHALL ADHERE TO LOCAL JURISDICTION PUBLIC WORKS STANDARD DETAILS AND SPECIFICATIONS. THE CONTRACTOR SHALL REFERENCE FOR REQUIRED LOCAL JURISDICTION INSPECTION REQUIREMENTS.
7. ALL PRIVATE STORM SEWER CONSTRUCTION, PIPE, STRUCTURES, AND FITTINGS SHALL ADHERE TO THE APPLICABLE PLUMBING CODE. THE CONTRACTOR SHALL ARRANGE FOR REQUIRED LOCAL JURISDICTION INSPECTIONS.
8. ALL PVC TO RCP CONNECTIONS AND ALL STORM PIPE CONNECTIONS ENTERING STRUCTURES OR OTHER STORM PIPES SHALL HAVE A CONCRETE COLLAR AND BE GROUTED TO ASSURE THE CONNECTION IS WATERTIGHT.
9. THE CONTRACTOR SHALL SUBMIT TECHNICAL DATA TO THE OWNER, ENGINEER AND LOCAL JURISDICTION ENGINEER/INSPECTOR FOR APPROVAL PRIOR TO ORDERING THE PIPE MATERIAL. ALL PIPES SHALL BE WATERTIGHT.
10. THE CONTRACTOR SHALL PROVIDE CONSTRUCTION SURVEYING FOR ALL STORM SEWER LINES.
11. EMBEDMENT FOR ALL STORM SEWER LINES, PUBLIC OR PRIVATE, SHALL BE PER LOCAL JURISDICTION STANDARD DETAILS AND SPECIFICATIONS.
12. ALL WYE CONNECTIONS AND PIPE BENDS ARE TO BE PREFABRICATED AND INSTALLED PER MANUFACTURERS REQUIREMENTS.
13. USE 4' FOOT JOINTS WITH BEVELED ENDS IF RADIUS OF STORM SEWER IS LESS THAN 100 FEET.

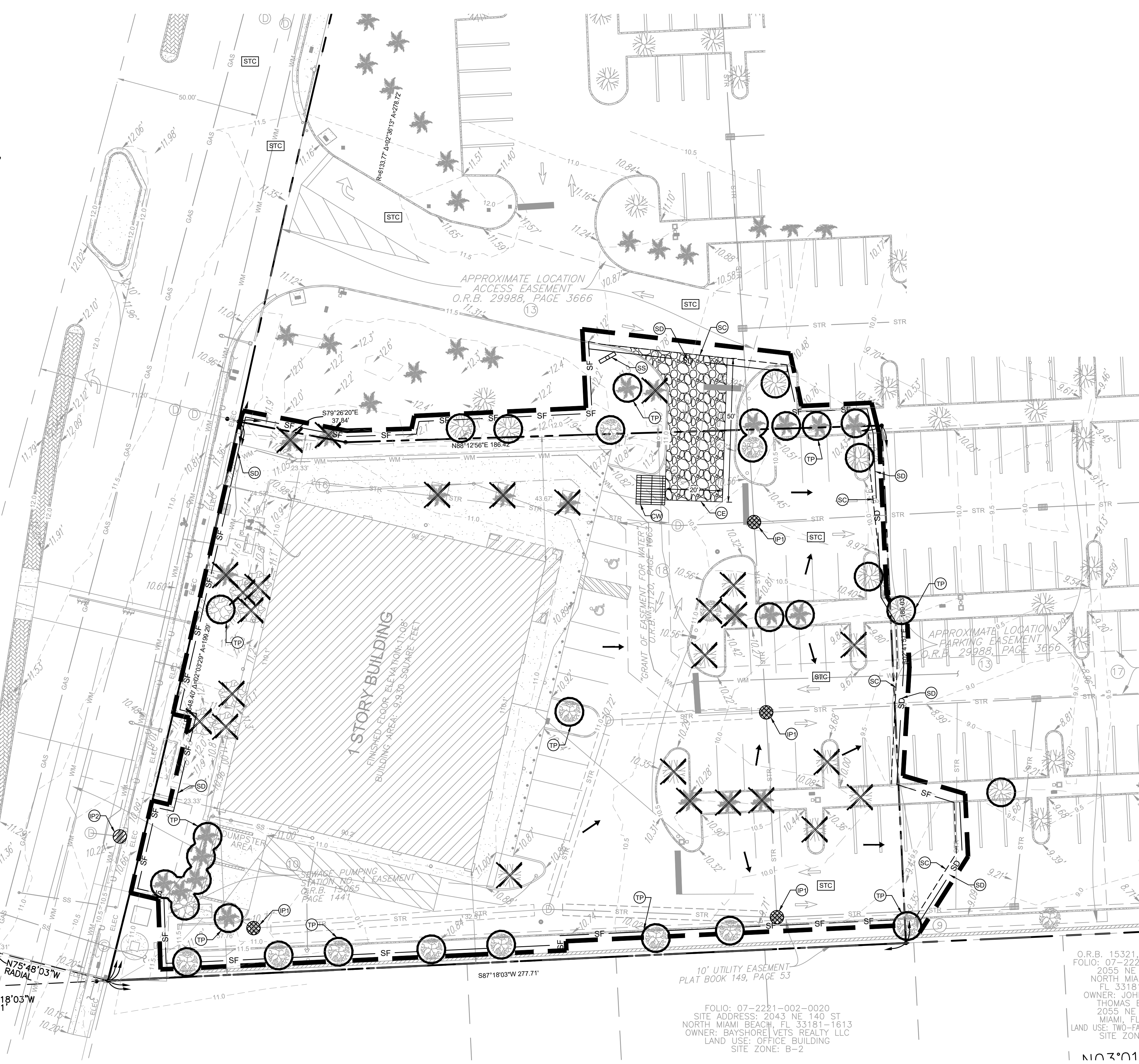
FOOT NOTE:
REFER TO 102-600 INDEX FOR THE CURRENT FISCAL YEAR FOR GENERAL INFORMATION FOR TRAFFIC CONTROL THROUGH WORK ZONES

PROJECT CLOSE OUT NOTES:

- A. DURING CONSTRUCTION, THE PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND CLEAN MANNER, AND UPON FINAL CLEANUP, THE PROJECT SITE SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR TRASH. THE PAVED AREAS SHALL BE SWEEP FREED TO A SMOOTH, FINISHED SURFACE.
B. THE CONTRACTOR SHALL RESTORE OR REPLACE, WHEN AND AS DIRECTED, ANY PUBLIC OR PRIVATE PROPERTY DAMAGED BY HIS/HER WORK, EQUIPMENT AND/OR EMPLOYEES TO A CONDITION AT LEAST EQUAL TO THAT EXISTING IMMEDIATELY PRIOR TO THE BEGINNING OF OPERATIONS.
C. THE CONTRACTOR SHALL REPLACE ALL WEARING, STABILIZED EARTH, CURBS, DRIVEWAYS, SIDEWALKS, FENCES, MAILBOXES, SIGNS AND ANY OTHER IMPROVEMENTS REMOVED DURING CONSTRUCTION WITH THE SAME TYPE OF MATERIAL AND IN THE CONDITION WHICH EXISTED PRIOR TO THE BEGINNING OF OPERATIONS.
D. WHERE MATERIAL OR DEBRIS HAVE BEEN PLACED IN AND PLACE COVERING WITH LOCAL JURISDICTION STANDARD DRAINS, CATCH BASINS, OR ELSEWHERE AS A RESULT OF THE CONTRACTOR'S OPERATIONS, SUCH MATERIAL OR DEBRIS SHALL BE REMOVED AND SATISFACTORILY DISPOSED OF DURING THE PROGRESS OF THE WORK, AND THE AREA KEPT IN A CLEAN AND NEAT CONDITION.
E. ALL DISPOSAL OF EXCESS AND UNSUITABLE EXCAVATED MATERIAL, DEMOLITION, VEGETATION, RUBBISH AND DEBRIS SHALL BE MADE OUTSIDE THE LIMITS OF CONSTRUCTION AT A LEGAL DISPOSAL SITE PROVIDED BY THE CONTRACTOR AT HIS/HER OWN EXPENSE, WITH THE PRIOR APPROVAL OF THE ENVIRONMENTAL ENGINEER. MATERIAL CLEARED FROM THE SITE SHALL NOT BE DEPOSITED ON ADJACENT AND/OR NEARBY PROPERTY.
F. IMMEDIATELY PRIOR TO GRAND OPENING, CONTRACTOR IS TO SWEEP ENTIRE SITE, ELIMINATE ALL DEBRIS AND FUMIGATE THE LANDSCAPE AREAS AND PRESSURE CLEAN THE SITE ASPHALT, CURB, SIDEWALKS, AND CONCRETE PADS.
2. ALL PROPERTY MONUMENTS OR PERMANENT REFERENCES, REMOVED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED BY A STATE OF FLORIDA REGISTERED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE.
3. PROJECT RECORD DOCUMENTS

<

BISCAYNE BOULEVARD (U.S. HIGHWAY NO. 1) (STATE ROAD NO. 5)



LEGEND

- PROPERTY LINE
- EASEMENT LINE
- ADJACENT LOT LINE
- EXISTING CURB
- 24.0' --- EXISTING CONTOUR
- PROPOSED LIMITS OF DISTURBANCE PROVIDE 6" H. TEMPORARY CHAIN LINK CONSTRUCTION FENCE
- DIRECTION OF OVERLAND FLOW
- SF SF SILT FENCE. SEE DETAIL SHEET C3.2
- SS SWPPP SIGN. SEE DETAIL SHEET C3.2
- CE CONSTRUCTION EXIT. SEE DETAIL SHEET C3.2
- EXISTING BUILDING
- EXISTING SIDEWALK TO REMAIN
- IP EXISTING GRATE INLET PROTECTION. SEE DETAIL SHEET C3.3
- IP EXISTING CURB INLET PROTECTION. SEE DETAIL SHEET C3.3
- TP EXISTING TREE TO BE REMOVED (SHOWN FOR REFERENCE - REFER TO LANDSCAPE PLANS)
- TP EXISTING TREE TO REMAIN (SHOWN FOR REFERENCE - REFER TO LANDSCAPE PLANS)
- TP EXISTING TREE TO PROTECTED (SHOWN FOR REFERENCE - REFER TO LANDSCAPE PLANS)
- STC CONTRACTOR TO PERFORM DAILY STREET SWEEPING
- CW CONCRETE WASHOUT. SEE DETAIL SHEET C3.2
- SD SILT DIKE. SEE DETAIL SHEET C3.3
- SC SAW CUT LINE. SEE DETAIL SHEET C3.3

SITE DATA

LOT AREA	1.05± AC
TOTAL ON-SITE DISTURBED AREA	1.05± AC
TOTAL OFF-SITE DISTURBED AREA	0.04± AC
TOTAL DISTURBED AREA	1.09± AC
PRE-DEVELOPMENT RUNOFF COEFFICIENT	92
POST-DEVELOPMENT RUNOFF COEFFICIENT	89

BENCHMARKS

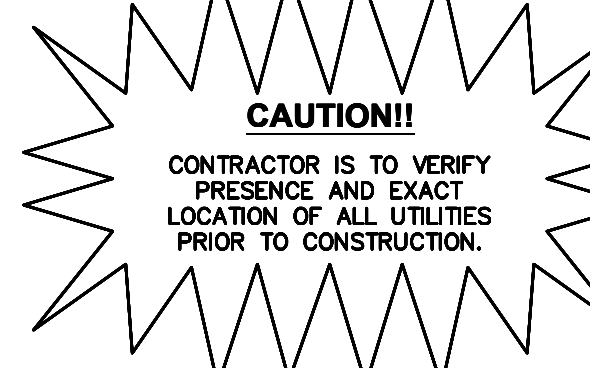
ELEVATIONS ARE BASED ON NORTH GEODETIC VERTICAL DATUM OF 1929. MIAMI-DADE COUNTY BENCHMARK: S-35; ELEVATION: 11.33 FEET.

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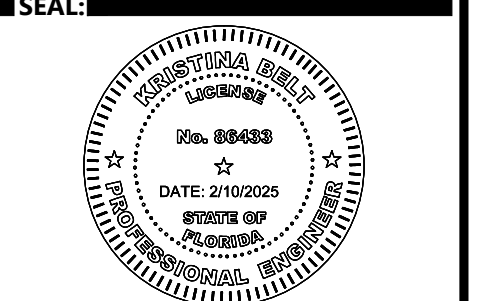


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zebra
ZEBRA ARCHITECTURE, PLLC
14614 N KIERLAND BLVD, SUITE
N300
SCOTTSDALE, ARIZONA 85254
PHONE: 480.912.1169 zbr.glob@zebraarch.com

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CONSULTANT:

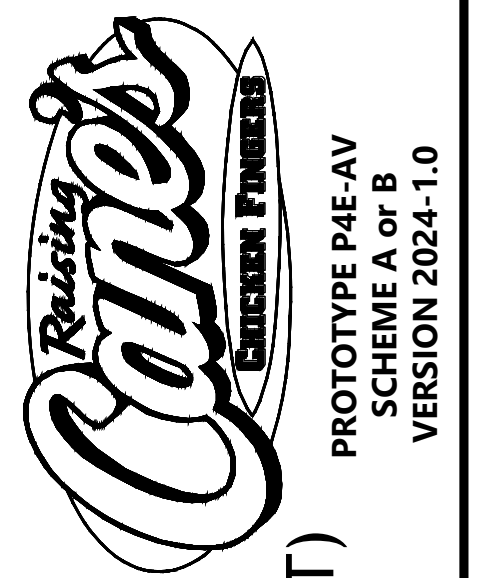
Designer's Information:

Kimley»Horn

445 24TH STREET, SUITE 200, VERO BEACH, FL 32960
PHONE: 772-794-4100
WWW.KIMLEY-HORN.COM

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KIMLEY HORN Project Manager: KB



RAISING CANE'S
RESTAURANT NO.: #1307
14025 BISCAYNE BLVD.
(BISCAYNE BLVD & 143RD ST)
MIAMI, FLORIDA 33154

PROTOTYPE P4E-AV
SCHEME A of B
VERSION 2024-1.0

REV	DATE	DESCRIPTION
#	10.01.24	PRELIMINARY PHOTO DEVELOPMENT

DRAWN BY: BPT

CHECKED BY: KEB

ARCH. PROJECT NO.: 147793039

SHEET NAME: EROSION CONTROL PLAN PHASE 1

SHEET NUMBER: C3.0

SITE PLAN REVIEW

BISCAYNE BOULEVARD (U.S. HIGHWAY NO. 1) (STATE ROAD NO. 5)



LEGEND

- PROPERTY LINE
- EASEMENT LINE
- ADJACENT LOT LINE
- PROPOSED TYPE "F" CONCRETE CURB
- EXISTING CURB
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED FLOW ARROW WITH SLOPE AND SPOT ELEVATION
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- PROPOSED STORM INLET
- TOP OF SIDEWALK
- MATCH EXISTING ELEVATION
- TOP OF GRATE ELEVATION
- HIGH POINT ELEVATION
- PROPOSED RIDGE
- PROPOSED SIDEWALK PAVEMENT

GRAPHIC SCALE IN FEET
0 10 20 40

KEYNOTE LEGEND

(A)	FDOT TYPE "CR-C" CURB RAMP, PER STD. INDEX 522-002.
(B)	FDOT TYPE "CR-E" CURB RAMP, PER STD. INDEX 522-002.
(C)	FDOT TYPE "CR-G" CURB RAMP, PER STD. INDEX 522-002.
(D)	PROPOSED HANDICAP SPACES
(E)	PROPOSED TYPE F CURB & GUTTER
(F)	PROPOSED TYPE D CURB
(G)	EXISTING STORM INLET

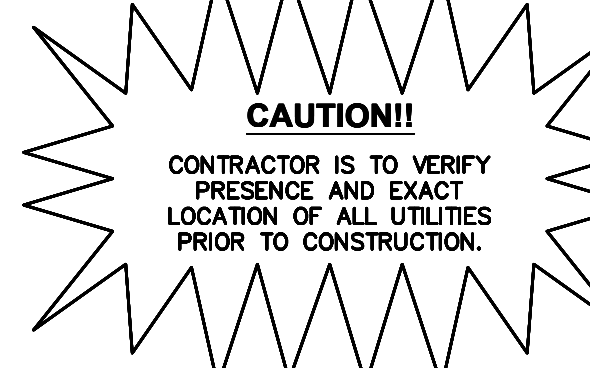
- ### NOTES:
- THE ENGINEER OF RECORD SHALL PERFORM FULL TIME INSPECTION DURING INSTALLATION OF HDPE DRAINAGE PIPE AND PROVIDE INSPECTION REPORTS AND CERTIFICATION OF PROPER INSTALLATION TO THE CITY.
 - AS PER SECTION 816.10.1.2.1 OF CITY'S LAND DEVELOPMENT CODE, NEW NON-RESIDENTIAL BUILDINGS SHALL HAVE THE LOWEST FLOOR ELEVATED TO OR ABOVE THE ELEVATION REQUIRED IN THE FLORIDA BUILDING CODE, THE BASE FLOOD ELEVATION PLUS 1 FOOT, OR 6 INCHES ABOVE THE HIGHEST ROAD CROWN ELEVATION OF THE CENTERLINE OF THE ADJACENT STREET, WHICHEVER IS HIGHER.
 - ALL DRAINAGE STRUCTURES SHALL MEET DERM CRITERIA FOR WALL THICKNESS, SUMPS AND CLEARANCES.
 - PORTIONS OF THE EXISTING DRAINAGE SYSTEM (OFF-SITE) MAY NEED TO BE CLEANED UPON COMPLETION OF CONSTRUCTION. TO BE DETERMINED IN THE FILED BY DERM INSPECTOR.
 - CONTRACTOR TO JET AND CLEAN ALL DRAINAGE PIPING TO OUTFALL PRIOR TO CONSTRUCTION COMPLETION.

BENCHMARKS

ELEVATIONS ARE BASED ON NORTH GEODETIC VERTICAL DATUM OF 1929.
MIAMI-DADE COUNTY BENCHMARK: S-35; ELEVATION: 11.33 FEET.

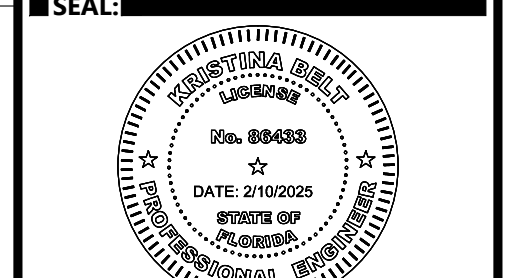
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ZEBRA ARCHITECTURE, PLLC
14614 N KIERLAND BLVD, SUITE N300
SCOTTSDALE, ARIZONA 85254
PHONE: 480.912.1169 zbr.glob@zebraarch.com

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Designer's Information:
Kimley»Horn
445 24TH STREET, SUITE 200, VERO BEACH, FL 32960
PHONE: 772-794-4100
WWW.KIMLEYHORN.COM
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KIMLEY HORN Project Manager: KB

PROTOTYPE P4E-AV
SCHEME A of B
VERSION 2024-1.0

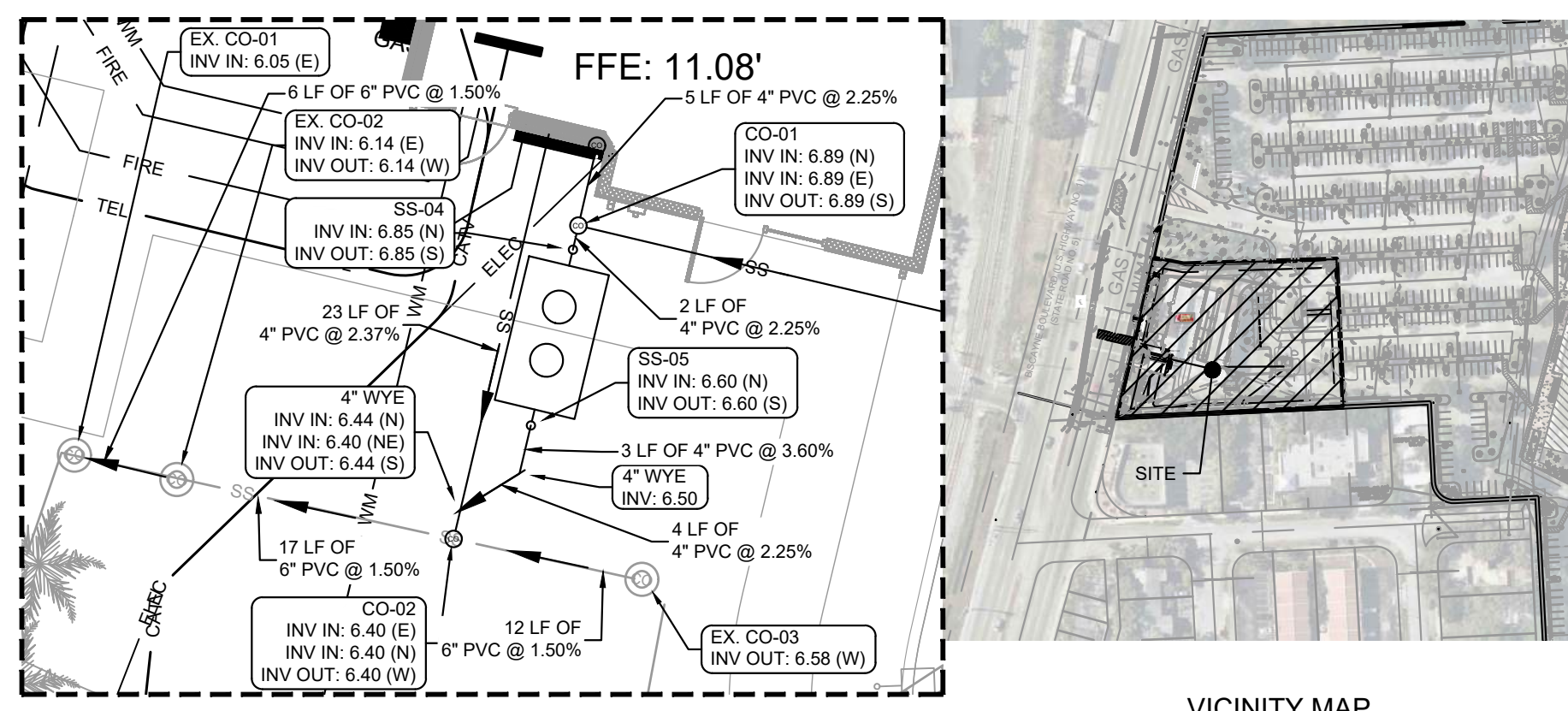
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14025 BISCAYNE BLVD.
(BISCAYNE BLVD & 143RD ST)
MIAMI, FLORIDA 33154

REV	DATE	DESCRIPTION
1	10.01.24	PRELIMINARY PRTO DEVELOPMENT
2	07.05.2025	TRAD COMMENTS #02

DRAWN BY: BPT
CHECKED BY: KEB
ARCH. PROJECT NO.: 147793039
SHEET NAME: SCHEMATIC GRADING PLAN
SHEET NUMBER: C6.0

SITE PLAN REVIEW

BISCAYNE BOULEVARD (U.S. HIGHWAY NO. 1)
 (STATE ROAD NO. 5)



VICINITY MAP
 SCALE 1" = 200'

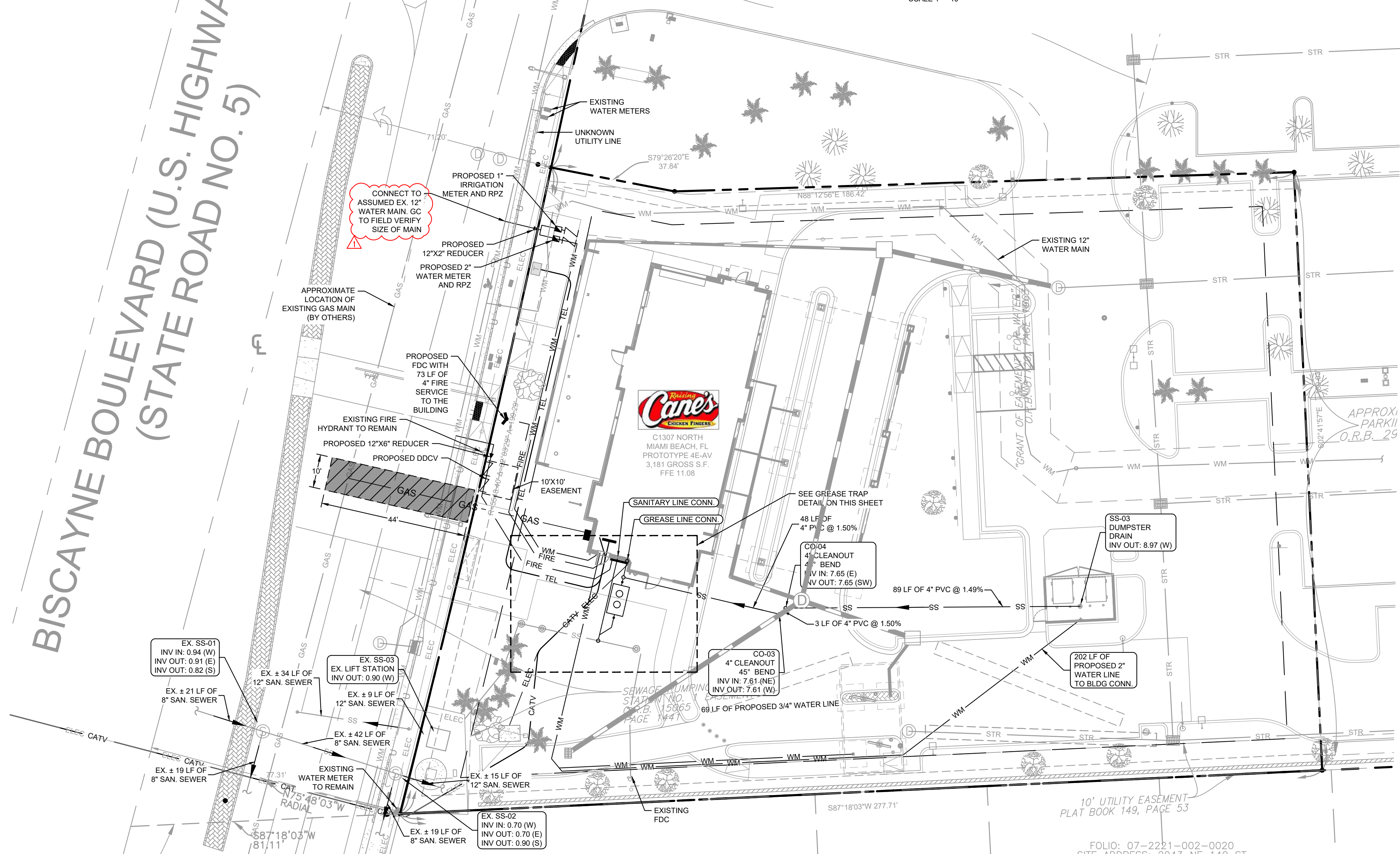
LEGEND

---	PROPERTY LINE
---	EASEMENT LINE
---	ADJACENT LOT LINE
---	PROPOSED "F" TYPE CONCRETE CURB
---	EXISTING CURB
---	EXISTING COMMUNICATION LINE
---	EXISTING FORCE MAIN
---	EXISTING SANITARY SEWER
---	EXISTING ELECTRIC LINE
---	EXISTING WATER SERVICE
---	EXISTING STORM SEWER
---	EXISTING GAS LINE
---	EXISTING UNKNOWN LINE
---	PROPOSED STORM SEWER
---	PROPOSED EXFILTRATION TRENCH
---	PROPOSED STORM INLET
---	PROPOSED WATER SERVICE
---	PROPOSED FIRE LINE
---	PROPOSED ELECTRIC LINE
---	PROPOSED CABLE LINE
---	PROPOSED COMMUNICATION LINE
---	PROPOSED ELECTRICAL CONDUIT
---	PROPOSED GAS LINE
---	PROPOSED SANITARY SEWER LINE
---	PROPOSED SANITARY STRUCTURES
---	PROPOSED OFF-SITE WORK



SANITARY STRUCTURE TABLE

NO.	DESCRIPTION	4" CLEANOUT
CO-01		RIM: 7.26 INV: 6.89 (N) INV: 6.89 (E) INV: 6.89 (S)
CO-02	CONN. TO EX. LINE	RIM: 6.94 INV: 6.40 (E) INV: 6.40 (N) INV: 6.40 (W)
CO-03	4" CLEANOUT 45° BEND	RIM: 7.98 INV: 7.61 (NE) INV: 7.61 (W)
CO-04	4" CLEANOUT 45° BEND	RIM: 8.02 INV: 7.65 (E) INV: 7.65 (SW)
EX. CO-01	EX. CLEANOUT	RIM: 6.59 INV: 6.05 (E)
EX. CO-02	EX. CLEANOUT	RIM: 6.60 INV: 6.14 (E) INV: 6.14 (W)
EX. CO-03	EX. CLEANOUT	RIM: 7.12 INV: 6.58 (W)
EX. SS-01	EX. MH	RIM: 4.46 INV: 0.94 (W) INV: 0.91 (E) INV: 0.82 (S)
EX. SS-02	EX. MH	RIM: 4.56 INV: 0.70 (W) INV: 0.70 (E) INV: 0.90 (S)
EX. SS-03	EX. LIFT STATION	RIM: 4.76 INV: 0.90 (W)
SS-01	SANITARY LINE CONN.	RIM: 7.37 INV: 7.00 (S)
SS-02	GREASE LINE CONN.	RIM: 7.37 INV: 7.00 (S)
SS-03	DUMPSTER DRAIN	RIM: 9.34 INV: 8.97 (W)
SS-04	GREASE IN	RIM: 7.22 INV: 6.85 (N) INV: 6.85 (S)
SS-05	GREASE OUT	RIM: 6.97 INV: 6.60 (N) INV: 6.60 (S)



WATER AND SEWER UTILITY NOTES

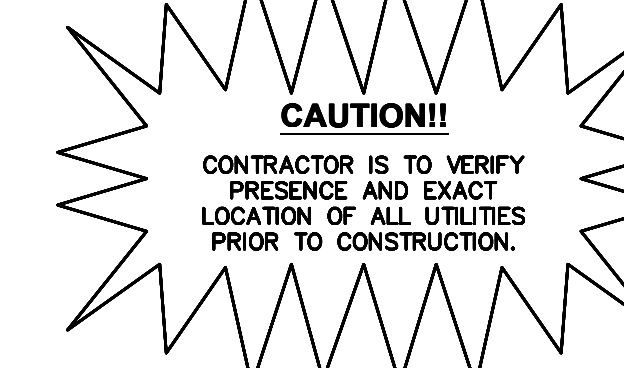
- THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, MANHOLES GRAVITY SEWER LINES AND DOMESTIC WATER AND FIRE PROTECTION SYSTEM AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, EQUIPMENT, MACHINERY, TOOLS, MEANS OF TRANSPORTATION AND LABOR NECESSARY TO COMPLETE THE WORK IN FULL AND COMPLETE ACCORDANCE WITH THE SHOWN, DESCRIBED AND REASONABLY INTENDED REQUIREMENTS OF THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- ALL EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS FOR UTILITY LOCATION AND COORDINATION IN ACCORDANCE WITH THE NOTES CONTAINED IN THE GENERAL CONSTRUCTION SECTION OF THIS SHEET.
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.
- DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS. SECURELY CLOSE ALL OPEN ENDS OF PIPE AND FITTINGS WITH A WATERTIGHT PLUG WHEN WORK IS NOT IN PROGRESS. THE INTERIOR OF ALL PIPES SHALL BE CLEAN AND JOINT SURFACES WIPED CLEAN AND DRY AFTER THE PIPE HAS BEEN LOWERED INTO THE TRENCH. VALVES SHALL BE PLUMB AND LOCATED ACCORDING TO THE PLANS.
- ALL PHASES OF INSTALLATION, INCLUDING UNLOADING, TRENCHING, LAYING AND BACK FILLING, SHALL BE DONE IN A FIRST CLASS WORKMANLIKE MANNER. ALL PIPE AND FITTINGS SHALL BE CAREFULLY STORED FOLLOWING MANUFACTURER'S RECOMMENDATIONS. CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE COATING OR LINING IN ANY D.I. PIPE FITTINGS. ANY PIPE OR FITTING WHICH IS DAMAGED OR WHICH HAS FLAWS OR IMPERFECTIONS WHICH, IN THE OPINION OF THE ENGINEER OR OWNER, RENDERS IT UNFIT FOR USE, SHALL NOT BE USED. ANY PIPE NOT SATISFACTORY FOR USE SHALL BE CLEARLY MARKED AND IMMEDIATELY REMOVED FROM THE JOB SITE, AND SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- WATER FOR FIRE FIGHTING SHALL BE AVAILABLE FOR USE PRIOR TO COMBUSTIBLES BEING BROUGHT ON SITE.
- ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE COMPLETELY BACK FILLED IN ACCORDANCE WITH THE GOVERNING JURISDICTIONAL AGENCY'S SPECIFICATIONS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- UNDERGROUND LINES SHALL BE SURVEYED BY A STATE OF FLORIDA PROFESSIONAL LAND SURVEYOR PRIOR TO BACK FILLING.
- CONTRACTOR SHALL PERFORM, AT THEIR OWN EXPENSE, ANY AND ALL TESTS REQUIRED BY THE SPECIFICATIONS AND/OR ANY AGENCY HAVING JURISDICTION. THESE TESTS MAY INCLUDE, BUT MAY NOT BE LIMITED TO, INFILTRATION AND EXFILTRATION, TELEVISION INSPECTION AND A MANDREL TEST ON GRAVITY SEWER. A COPY OF THE TEST RESULTS SHALL BE PROVIDED TO THE UTILITY PROVIDER, OWNER AND JURISDICTIONAL AGENCY AS REQUIRED.

BENCHMARKS

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zebra
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 SCOTTSDALE, ARIZONA 85254
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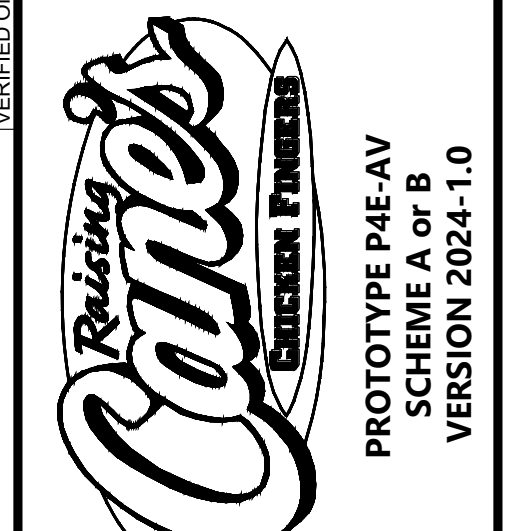


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REV DATE DESCRIPTION

REV	DATE	DESCRIPTION
1	10.01.24	PRELIMINARY PROTO DEVELOPMENT
2	12/13/2024	CITY OF MIAMI BEACH COMMENTS

DRAWN BY: BPT

CHECKED BY: KEB

ARCH. PROJECT NO.:

147793039

SHEET NAME:

SCHEMATIC UTILITY PLAN

SHEET NUMBER:

C7.0

SITE PLAN REVIEW

