

**zebra**  
 ZEBRA ARCHITECTURE, PLLC  
 14614 N KIERLAND BLVD, SUITE N300  
 SCOTTSDALE, ARIZONA 85254  
 PHONE: 480.912.1169 zbr.global

SEAL:  
 STATE OF FLORIDA  
 ZACHARY BRIAN BIRK  
 AR99089  
 REGISTERED ARCHITECT

FIELD VERIFICATION: 02/10/2025  
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 CONSULTANT:



**RAISING CANE'S**  
 RESTAURANT NO.: #1307  
 14025 BISCAYNE BLVD.  
 (BISCAYNE BLVD & 143RD ST)  
 N. MIAMI BEACH, FLORIDA 33154

PROTOTYPE P4E-AV  
 SCHEME A of B  
 VERSION 2024-1.0

**EGRESS PLAN**

1/4" = 1'-0" 1

**KEYED NOTES**

- PROVIDE 6 LB. 40 BC CLASS "K" HAND OPERATED FIRE EXTINGUISHER. LOCATION SUBJECT TO FIRE MARSHAL APPROVAL.
- PROVIDE 5 LB. 2A10 BC HAND OPERATED FIRE EXTINGUISHER. LOCATION SUBJECT TO FIRE MARSHAL APPROVAL.
- PROVIDE KNOX BOX. LOCATION SUBJECT TO FIRE MARSHAL APPROVAL.
- ACCESSIBLE ENTRY / EGRESS POINT.
- STANDARD FIXED DINING SURFACE.
- ACCESSIBLE FIXED DINING SURFACE. RE: 1/GO.32 AND 2/GO.32.
- 1" NON-COMBUSTIBLE WALL PANEL AT HOOD. REFER TO FOOD SERVICE EQUIPMENT AND VENDOR'S DRAWINGS.

**CODE INFORMATION**

**BUILDING SUMMARY**  
 CONSTRUCTION TYPE: V-B  
 TOTAL BUILDING FOOTPRINT: 3394 SQ FT  
 GROSS BUILDING AREA: 3169 SQ FT  
 BUILDING HEIGHT: 21'-6" (TOP OF PARAPET)  
 NUMBER OF STORIES: 1  
 OCCUPANCY GROUPS: A2 (ASSEMBLY)  
 BUILDING OCCUPANT LOAD: 20  
 SPRINKLERED: YES - FULLY

**FBC CODE DEFINITIONS**  
 AREA, BUILDING. The area included within surrounding exterior walls, or exterior walls and fire walls, exclusive of vent shafts and courts. Areas of the building not provided with surrounding walls shall be included in the building area if such areas are included within the horizontal projection of the roof or floor above.  
 FLOOR AREA, GROSS. The floor area within the inside perimeter of the exterior walls of the building under consideration, exclusive of vent shafts and courts, without deduction for corridors, stairways, ramps, closets, the thickness of interior walls, columns or other features. The floor area of a building, or portion thereof, not provided with surrounding exterior walls shall be the usable area under the horizontal projection of the roof or floor above. The gross floor area shall not include shafts with no openings or interior courts.  
 FLOOR AREA, NET. The actual occupied area not including unoccupied accessory areas such as corridors, stairways, ramps, toilet rooms, mechanical rooms and closets.

**LIFE SAFETY & EGRESS CALCS.**

**FBC OCCUPANT LOAD**

FUNCTION	AREA	AREA PER OCCUPANT	OCCUPANT LOAD	
ASSEMBLY (TABLES & CHAIRS)	452 NET S.F.	15 S.F. / OCCUPANT	31	
ASSEMBLY (BENCH SEAT COUNT)	81 L.F.	24' L.F. / OCCUPANT	41	
ASSEMBLY (STOOL SEAT COUNT)	N/A	FIXED SEAT	9	
ASSEMBLY (STANDING)	159 NET S.F.	5 S.F. / OCCUPANT	32	
KITCHEN (KITCHEN & OFFICE)	1,300 GROSS S.F.	200 S.F. / OCCUPANT	7	
WALK-IN (STORAGE)	204 GROSS S.F.	300 S.F. / OCCUPANT	1	
ACCESSORY (UNOCCUPIED)	1,019 S.F.	0 S.F. / OCCUPANT	0	
<b>TOTALS</b>	<b>BUILDING AREA</b>	<b>3169 SF</b>	<b>OCCUPANTS</b>	
	PATIO ASSEMBLY (TABLES & CHAIRS)	286 S.F.	15 S.F. / OCCUPANT	20
	PATIO ASSEMBLY (BENCH SEAT COUNT)	84 L.F.	24' L.F. / OCCUPANT	42
	<b>PATIO OCCUPANTS</b>		<b>62</b>	
	<b>TOTAL OCCUPANTS</b>		<b>183</b>	

**EXIT CALCULATIONS**

NUMBER OF EXITS			
NUMBER OF EXITS REQUIRED	OCCUPANCY LOAD	EXITS REQUIRED	TOTAL PROVIDED
PER FBC TABLE 1006.3.2: OCCUPANCY LOAD 1-500 = 2 OCCUPANCY LOAD 501-1,000 = 3 OCCUPANCY LOAD MORE THAN 1,000 = 4	121	2	3

**OVERALL EXIT WIDTH CALCULATIONS**

AREA	AREA OCC. LOAD	EXIT NUMBER	OCC. LOAD PER EXIT	MIN. WIDTH REQUIRED	WIDTH PROVIDED	MAX. LOAD ALLOWED
DINING AREA	113	EXIT 1	60	60 x 0.15' = 9" CLEAR	34" CLEAR	34' / .2 = 170
		EXIT 2	53	53 x 0.15' = 7.95" CLEAR	34" CLEAR	34' / .2 = 170
		EXIT 3	8	8 x 0.15' = 1.2" CLEAR	46" CLEAR	46' / .2 = 230
BACK OF HOUSE	8	N/A	N/A	N/A	N/A	N/A

NOTE: EXIT DOOR WIDTH NEVER TO BE LESS THAN 32" AS MEASURED  
 EXIT DOOR WIDTH CALCULATED WITH BUILDING BEING SPRINKLERED

**PLUMBING FIXTURE CALCS.**

**TOTAL FIXTURE LOAD**

OCCUPANT LOAD W/ PATIO: 183  
 REQUIRED WATER CLOSET: 183 / 75 = 3

TOTAL REQUIRED WATER CLOSETS = 3      TOTAL PROVIDED WATER CLOSETS = 3

TOTAL REQUIRED LAVATORIES = 1 (1:200)      TOTAL PROVIDED LAVATORIES = 3

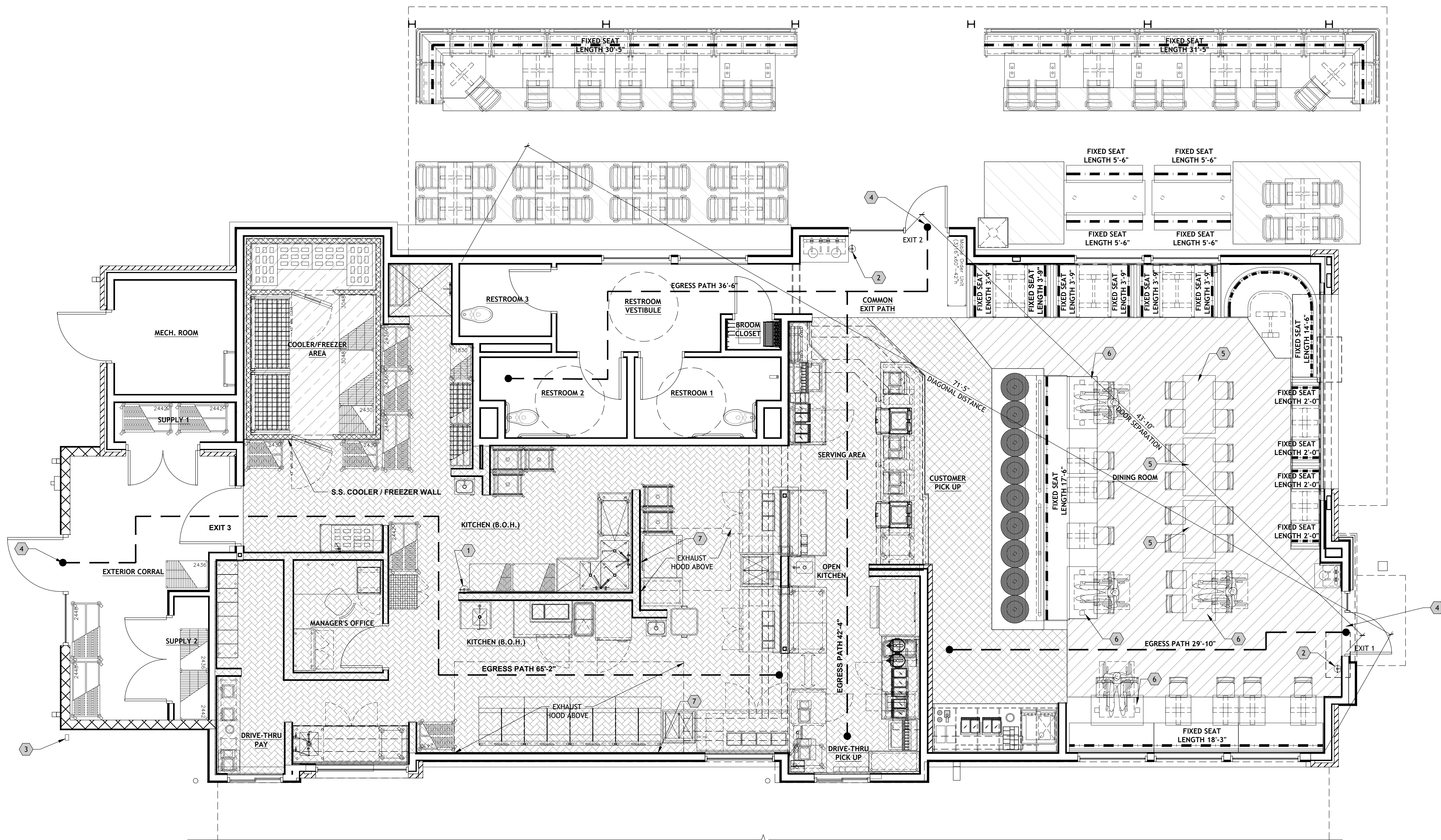
REV DATE DESCRIPTION  
 10.18.24 INITIAL SUBMITTAL  
 12.16.24 TRAD 1 RESUBMITTAL

DRAWN BY: X  
 CHECKED BY: XX

ARCH. PROJECT NO.: P4E-AV  
 SHEET NAME: EGRESS PLAN & EXIT CALCULATIONS  
 SHEET NUMBER: GO.20

SITE PLAN REVIEW





**EGRESS PLAN**

1/4" = 1'-0" **1**

KEYED NOTES	
1.	PROVIDE 6 LB. 40 BC CLASS "K" HAND OPERATED FIRE EXTINGUISHER. LOCATION SUBJECT TO FIRE MARSHAL APPROVAL.
2.	PROVIDE 5 LB. 2A10 BC HAND OPERATED FIRE EXTINGUISHER. LOCATION SUBJECT TO FIRE MARSHAL APPROVAL.
3.	PROVIDE KNOX BOX. LOCATION SUBJECT TO FIRE MARSHAL APPROVAL.
4.	ACCESSIBLE ENTRY / EGRESS POINT.
5.	STANDARD FIXED DINING SURFACE.
6.	ACCESSIBLE FIXED DINING SURFACE. RE: 1/GO.32 AND 2/GO.32.
7.	1" NON-COMBUSTIBLE WALL PANEL AT HOOD. REFER TO FOOD SERVICE EQUIPMENT AND VENDOR'S DRAWINGS.

CODE INFORMATION	
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CONSTRUCTION TYPE:	V-B
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GROSS BUILDING AREA:	3169 SQ FT
BUILDING HEIGHT:	21'-6" (TOP OF PARAPET)
NUMBER OF STORIES:	1
OCCUPANCY GROUPS:	AZ (ASSEMBLY)
BUILDING OCCUPANT LOAD:	20
SPRINKLERED:	YES - FULLY
<b>FBC CODE DEFINITIONS</b>	
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<b>PATIO OCCUPANTS</b>				<b>62</b>	
<b>TOTAL OCCUPANTS</b>				<b>183</b>	

EXIT CALCULATIONS						
NUMBER OF EXITS						
NUMBER OF EXITS REQUIRED		OCCUPANCY LOAD	EXITS REQUIRED	TOTAL PROVIDED		
PER FBC TABLE 1006.3.2: OCCUPANCY LOAD 1-500 = 2 OCCUPANCY LOAD 501-1,000 = 3 OCCUPANCY LOAD MORE THAN 1,000 = 4		121	2	3		
OVERALL EXIT WIDTH CALCULATIONS						
AREA	AREA OCC. LOAD	EXIT NUMBER	OCC. LOAD PER EXIT	MIN. WIDTH REQUIRED	WIDTH PROVIDED	MAX. LOAD ALLOWED
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BACK OF HOUSE	8	EXIT 3	8	8 x 0.15' = 1.2" CLEAR	46" CLEAR	46' / .2 = 230
		N/A	N/A	N/A	N/A	N/A
NOTE: EXIT DOOR WIDTH NEVER TO BE LESS THAN 32" AS MEASURED						
EXIT DOOR WIDTH CALCULATED WITH BUILDING BEING SPRINKLERED						

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TOTAL FIXTURE LOAD	
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TOTAL REQUIRED WATER CLOSETS = 3	TOTAL PROVIDED WATER CLOSETS = 3
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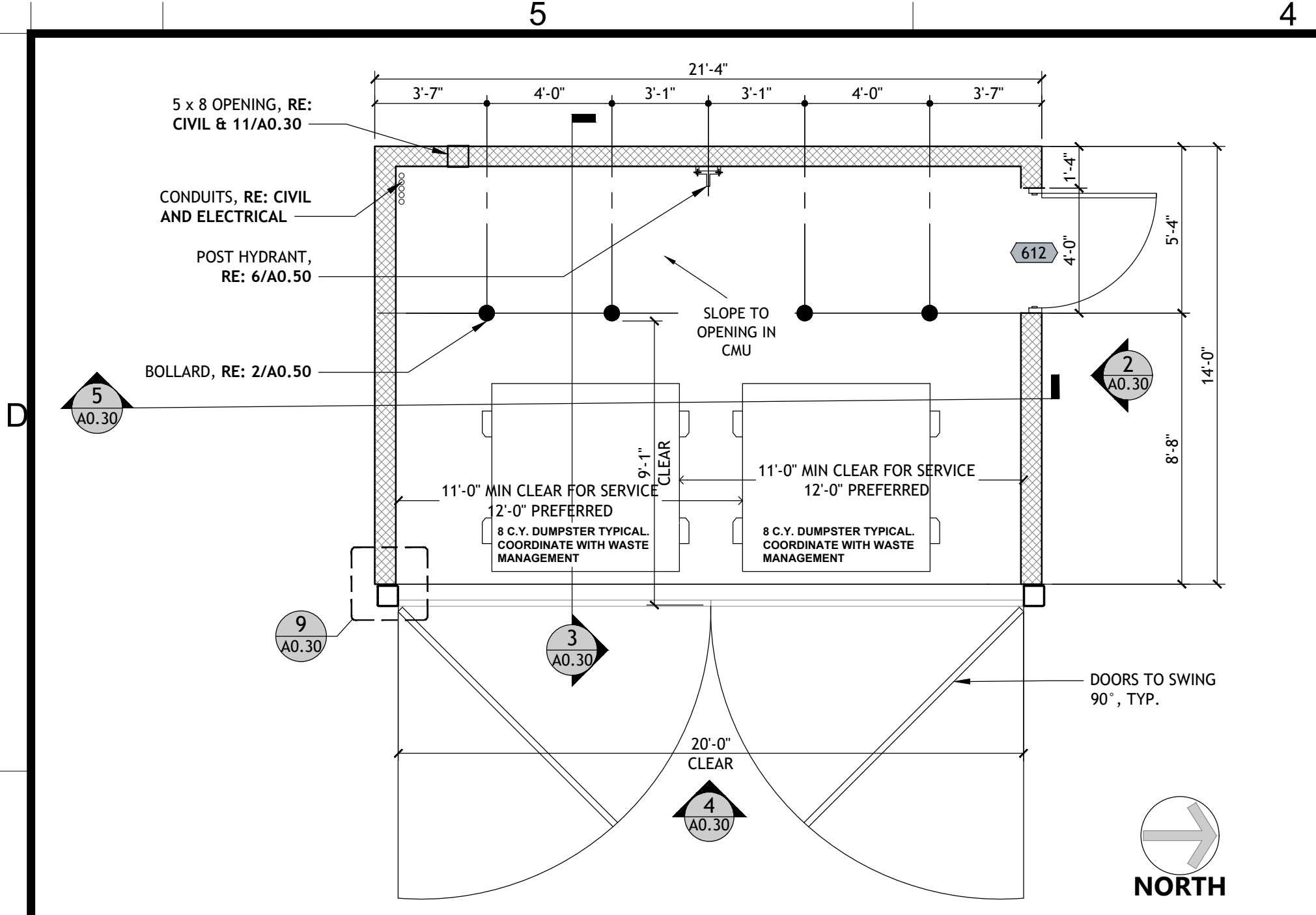


**RAISING CANE'S**  
 RESTAURANT NO.: #1307  
 14025 BISCAYNE BLVD.  
 (BISCAYNE BLVD & 143RD ST)  
 N. MIAMI BEACH, FLORIDA 33154

PROTOTYPE P4E-AV  
 SCHEME A of B  
 VERSION 2024-1.0

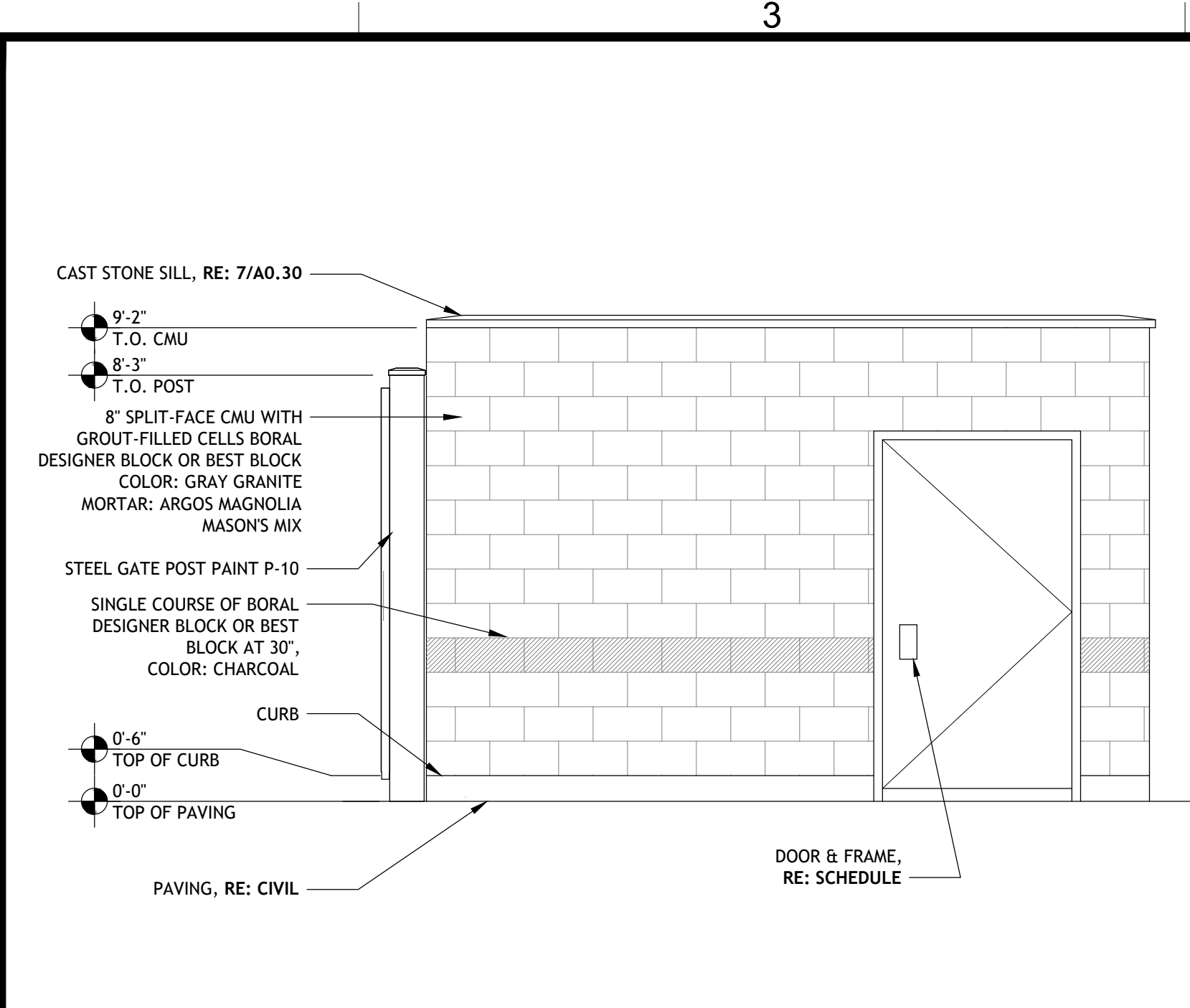
DRAWN BY: X  
 CHECKED BY: XX  
 ARCH. PROJECT NO.: P4E-AV  
 SHEET NAME: EGRESS PLAN & EXIT CALCULATIONS  
 SHEET NUMBER: **GO.20**

SITE PLAN REVIEW



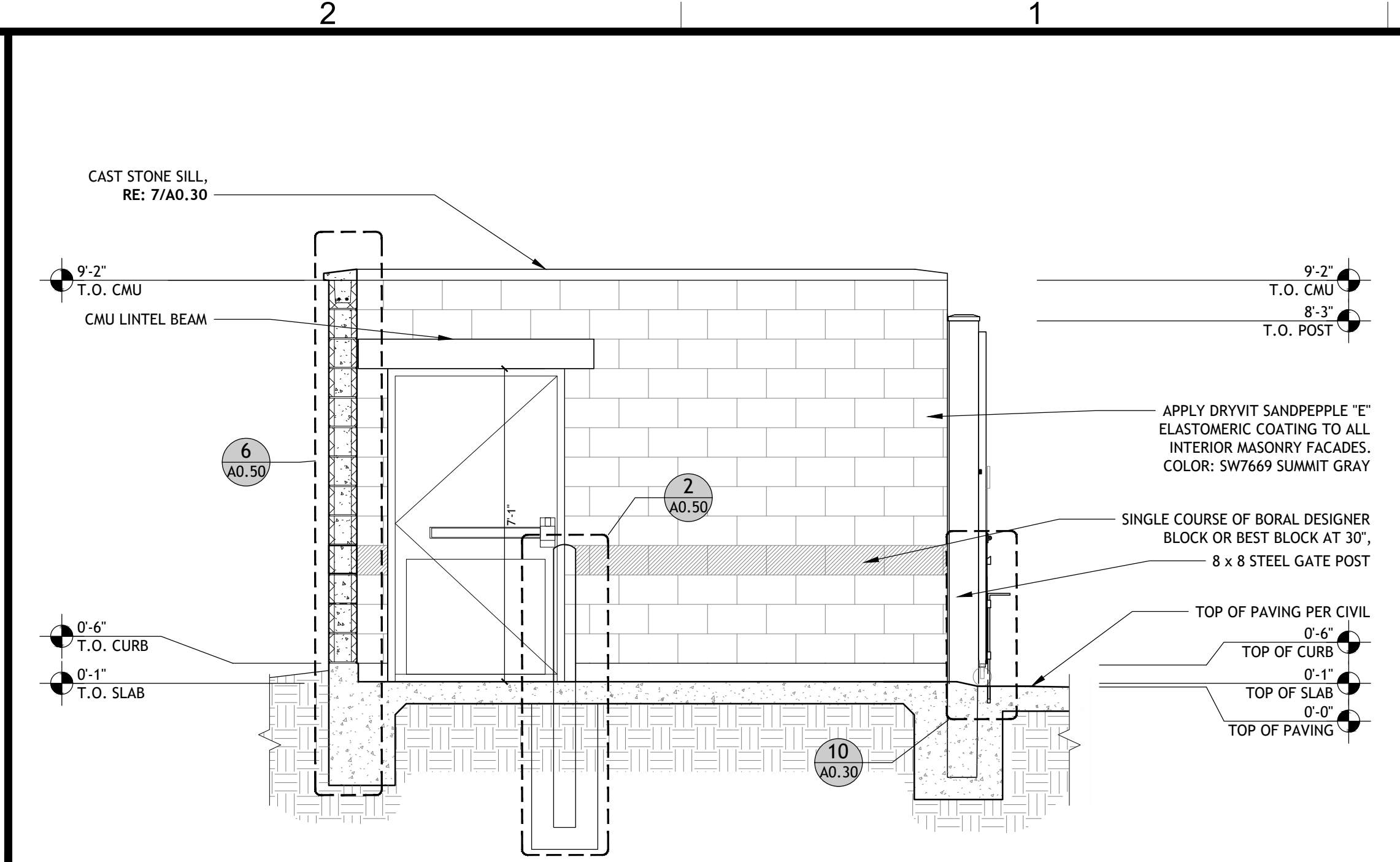
**TRASH ENCLOSURE PLAN**

1/4" = 1'-0" 1



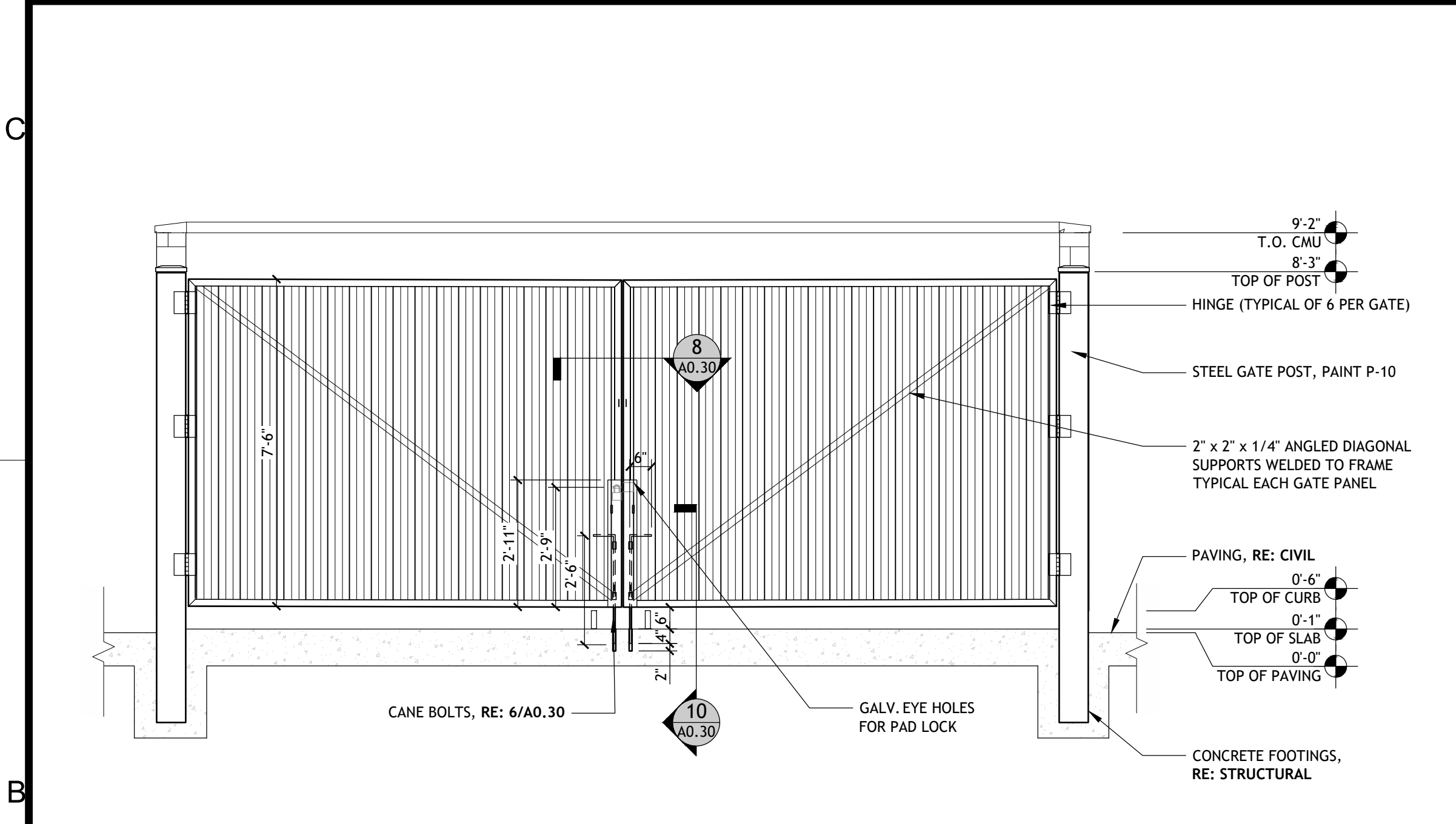
**TRASH ENCLOSURE SIDE ELEVATION**

3/8" = 1'-0" 2



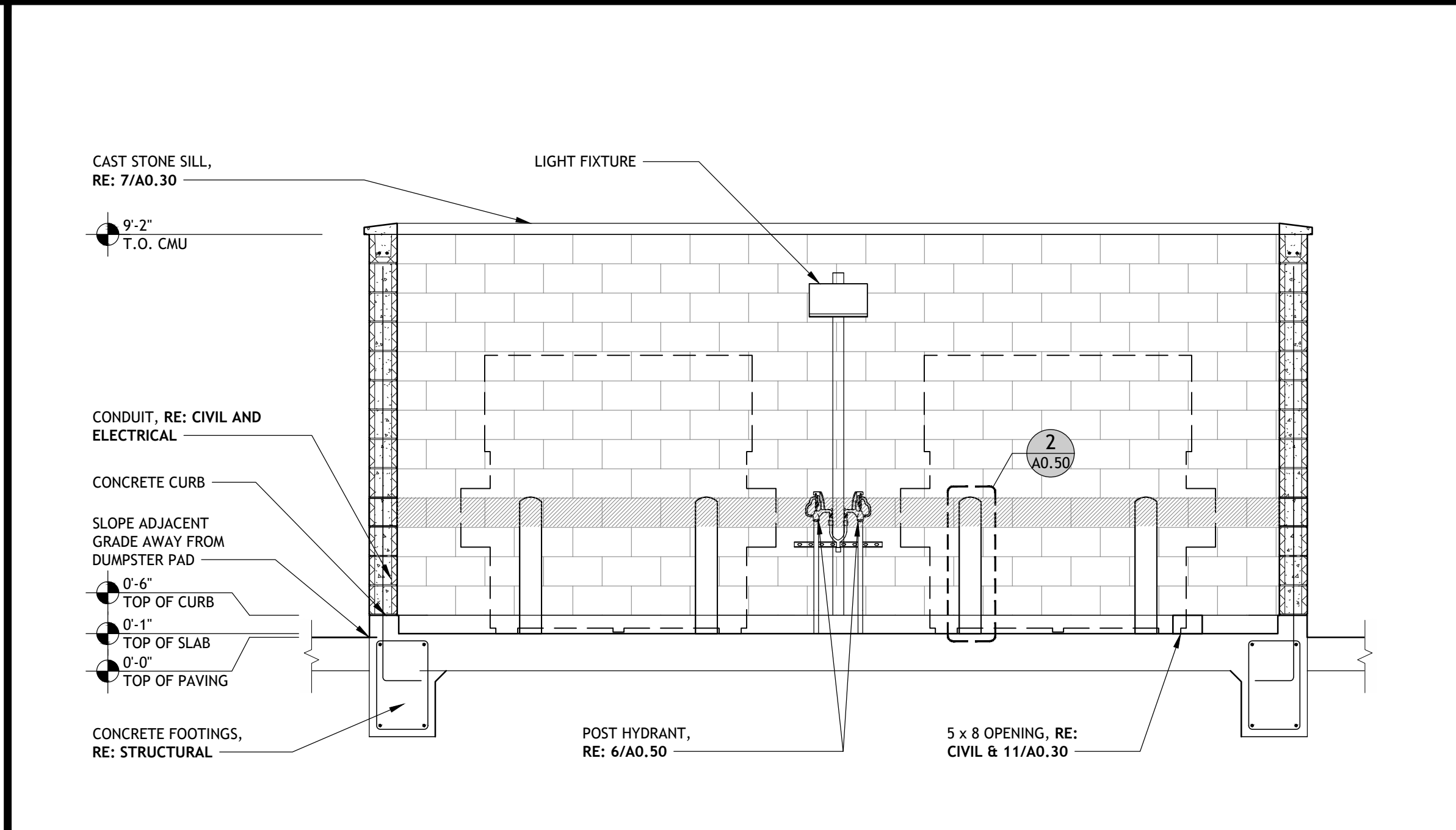
**TRASH ENCLOSURE SECTION**

3/8" = 1'-0" 3



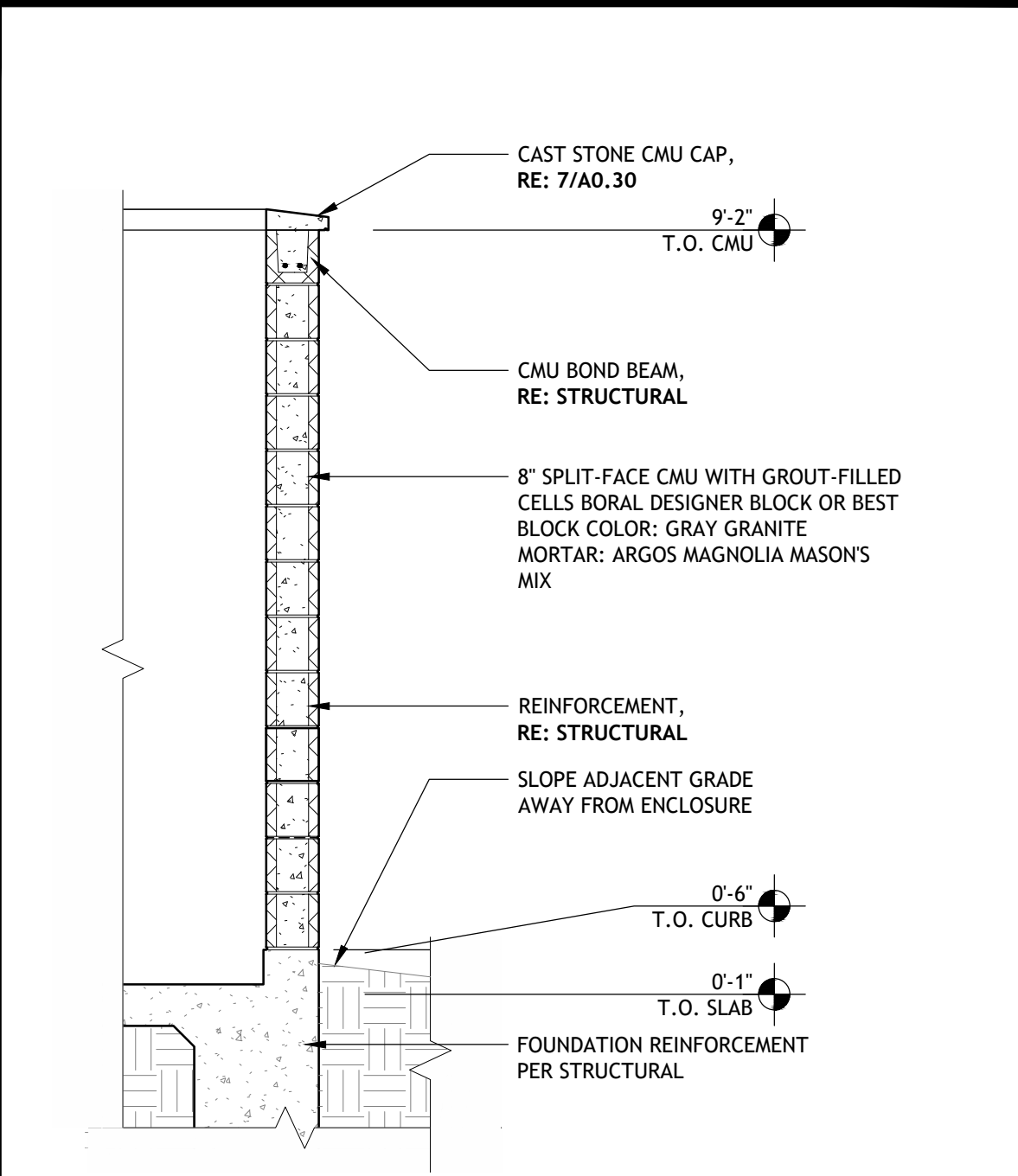
**ENCLOSURE GATE ELEVATION**

3/8" = 1'-0" 4



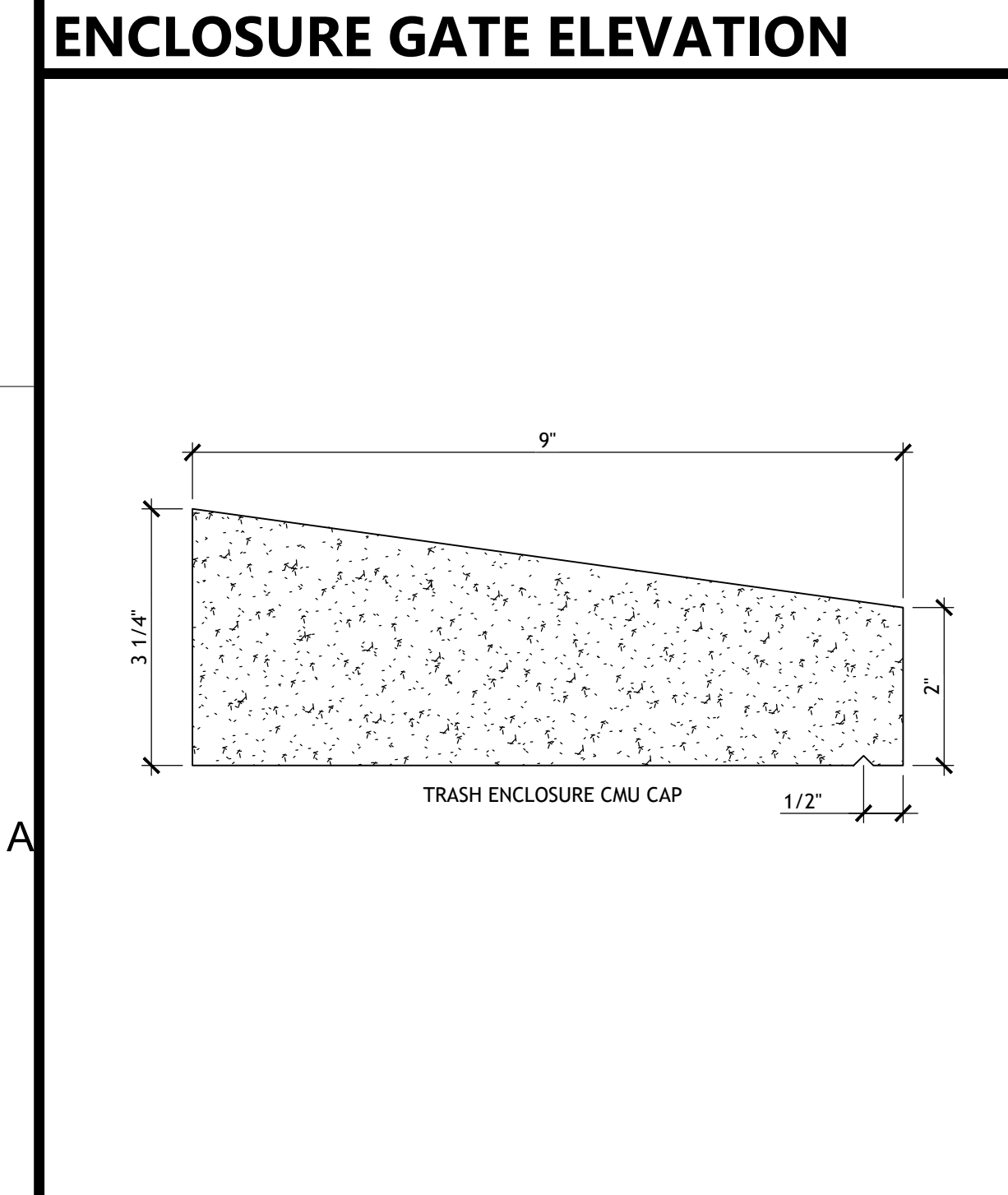
**ENCLOSURE SECTION**

3/8" = 1'-0" 5



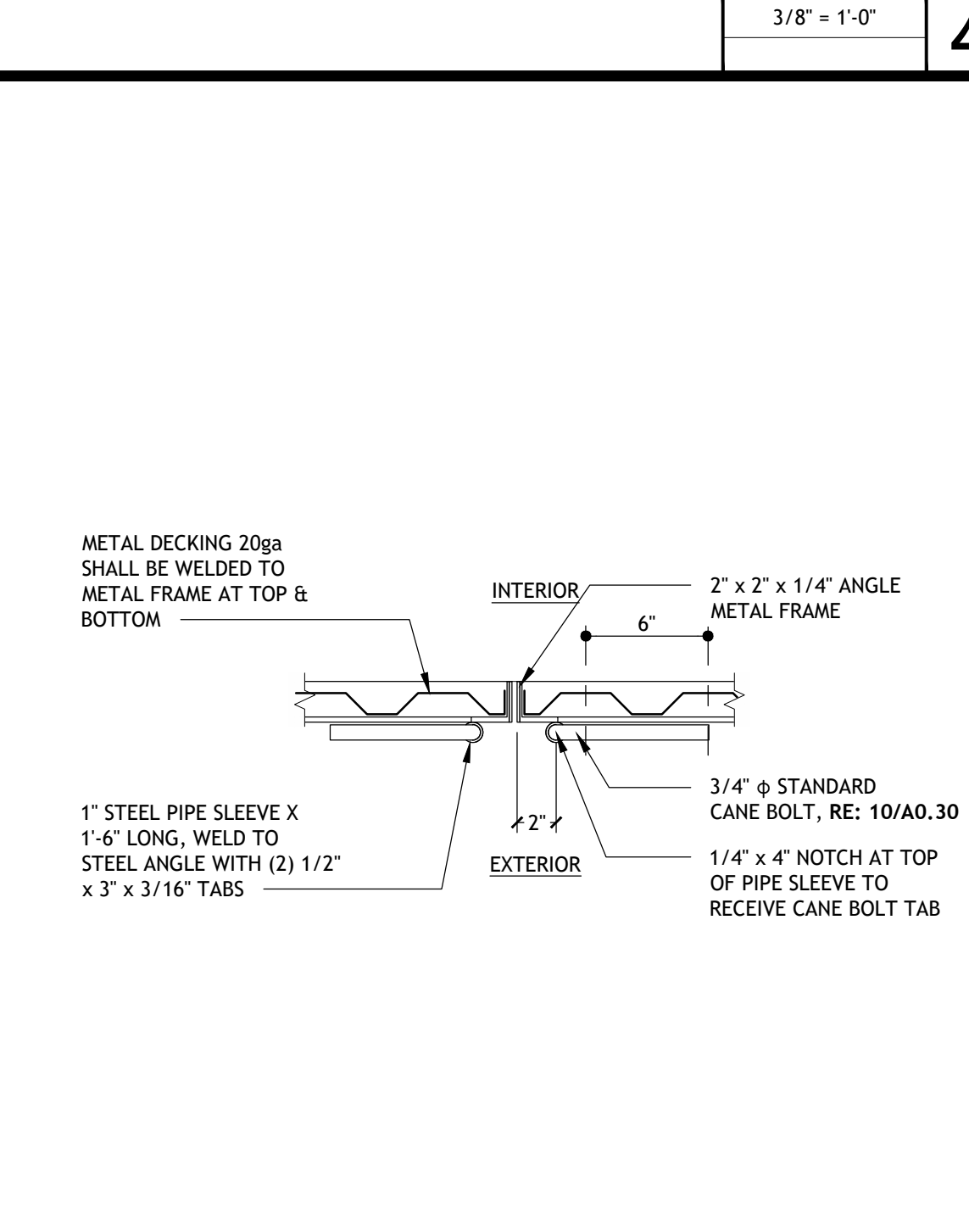
**CMU SECTION, TYP.**

1/2" = 1'-0" 6



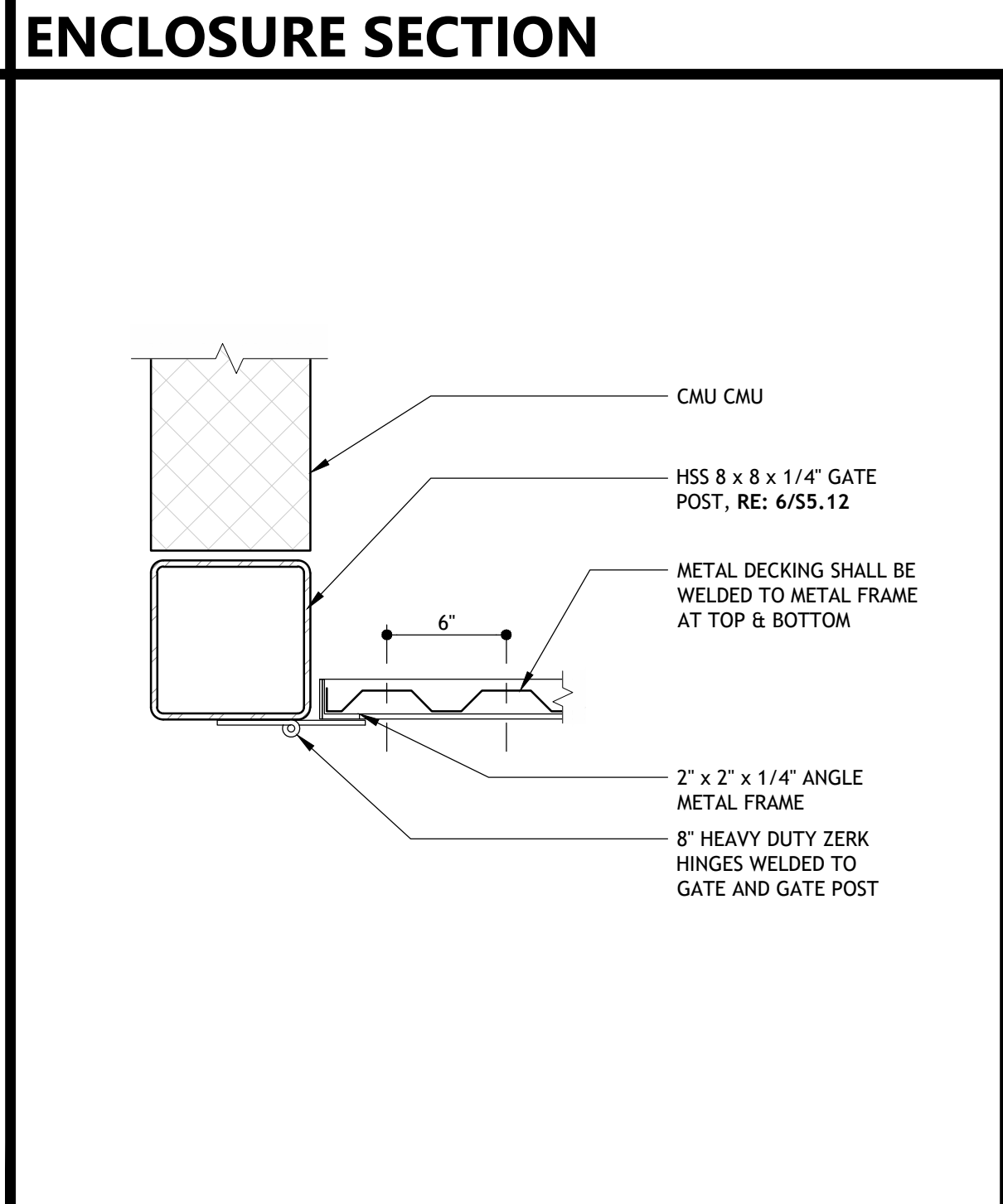
**STONE CAP DETAIL**

6" = 1'-0" 7



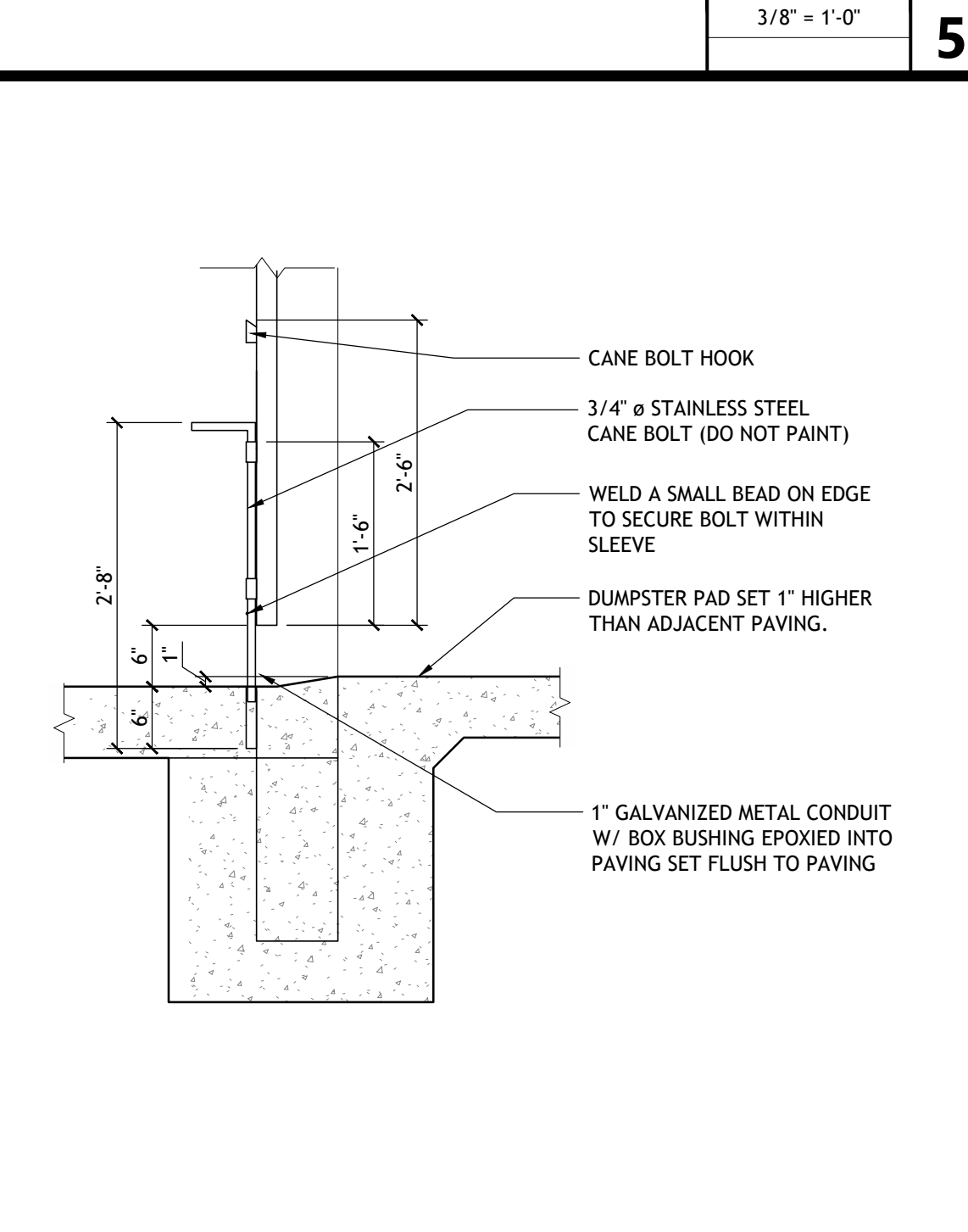
**GATE PLAN DETAIL**

1 1/2" = 1'-0" 8



**GATE HINGE DETAIL**

1 1/2" = 1'-0" 9



**GATE THRESHOLD DETL.**

3/4" = 1'-0" 10

**zebra**  
 ZEBRA ARCHITECTURE, PLLC  
 14614 N. KIERLAND BLVD., SUITE N500  
 SCOTTSDALE, ARIZONA 85254  
 PHONE: 480.912.1169 zbr.global

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 ZACHARY BRIAN SHUK  
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 02/10/2025

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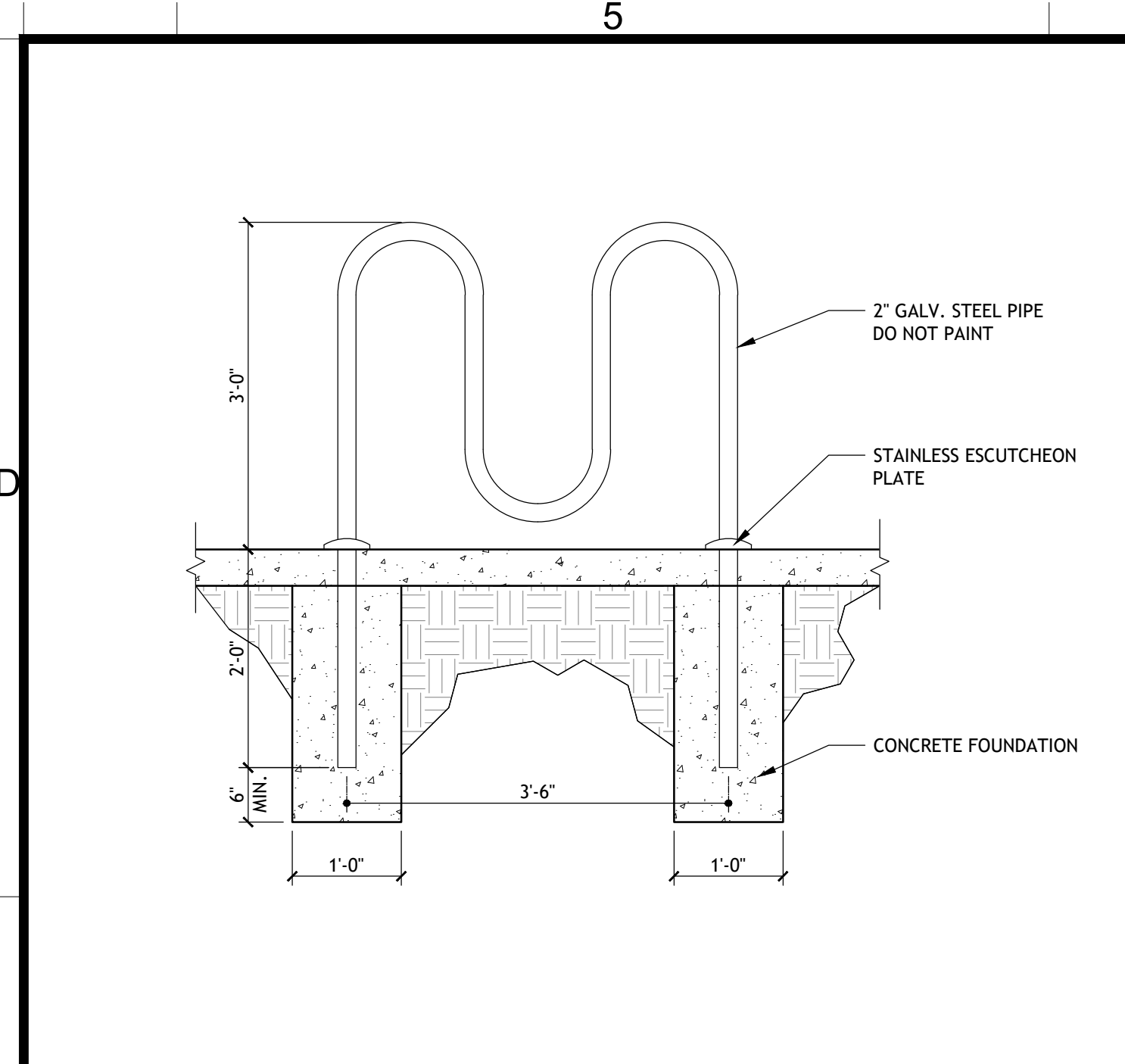
**RAISING CANE'S**  
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PROTOTYPE P4E-AV  
 SCHEME A of B  
 VERSION 2024-1.0

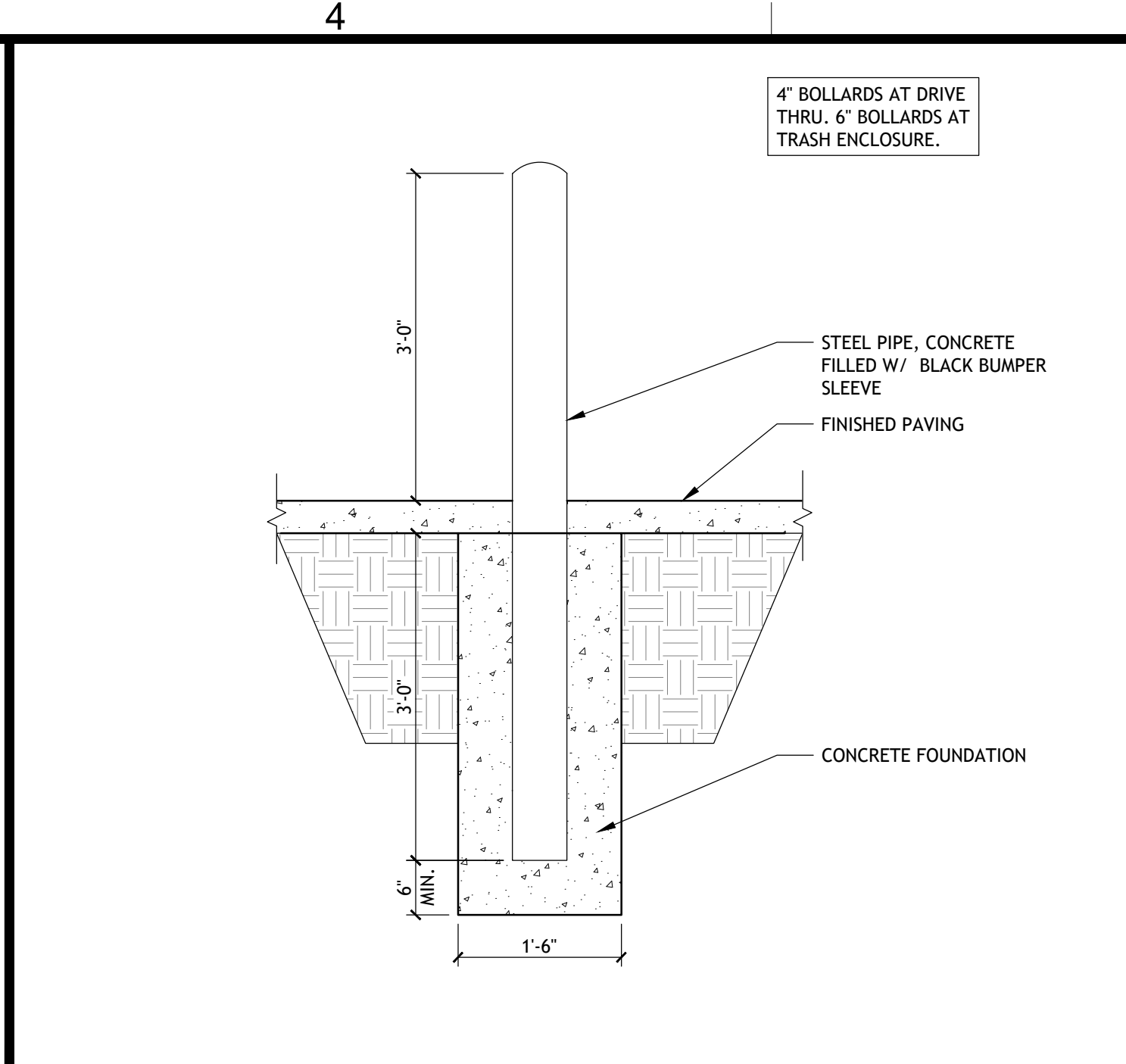
REV	DATE	DESCRIPTION
-	10.18.24	INITIAL SUBMITTAL
▲	12.16.24	TRD 1 RESUBMITTAL

DRAWN BY: X  
 CHECKED BY: XX  
 ARCH. PROJECT NO.: P4E-AV  
 SHEET NAME: TRASH ENCLOSURE PLAN & DETAILS  
 SHEET NUMBER: A0.30

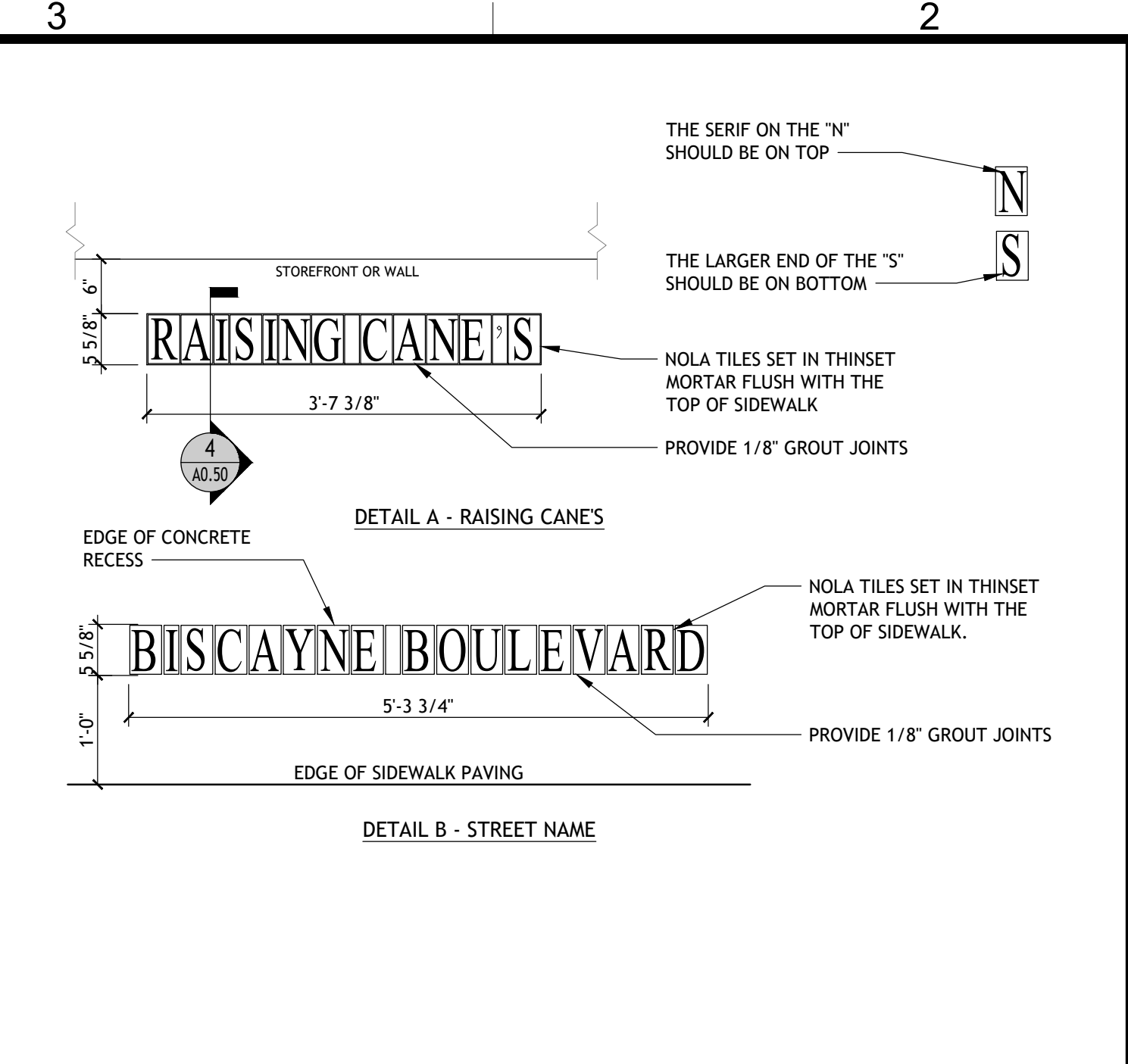
SITE PLAN REVIEW



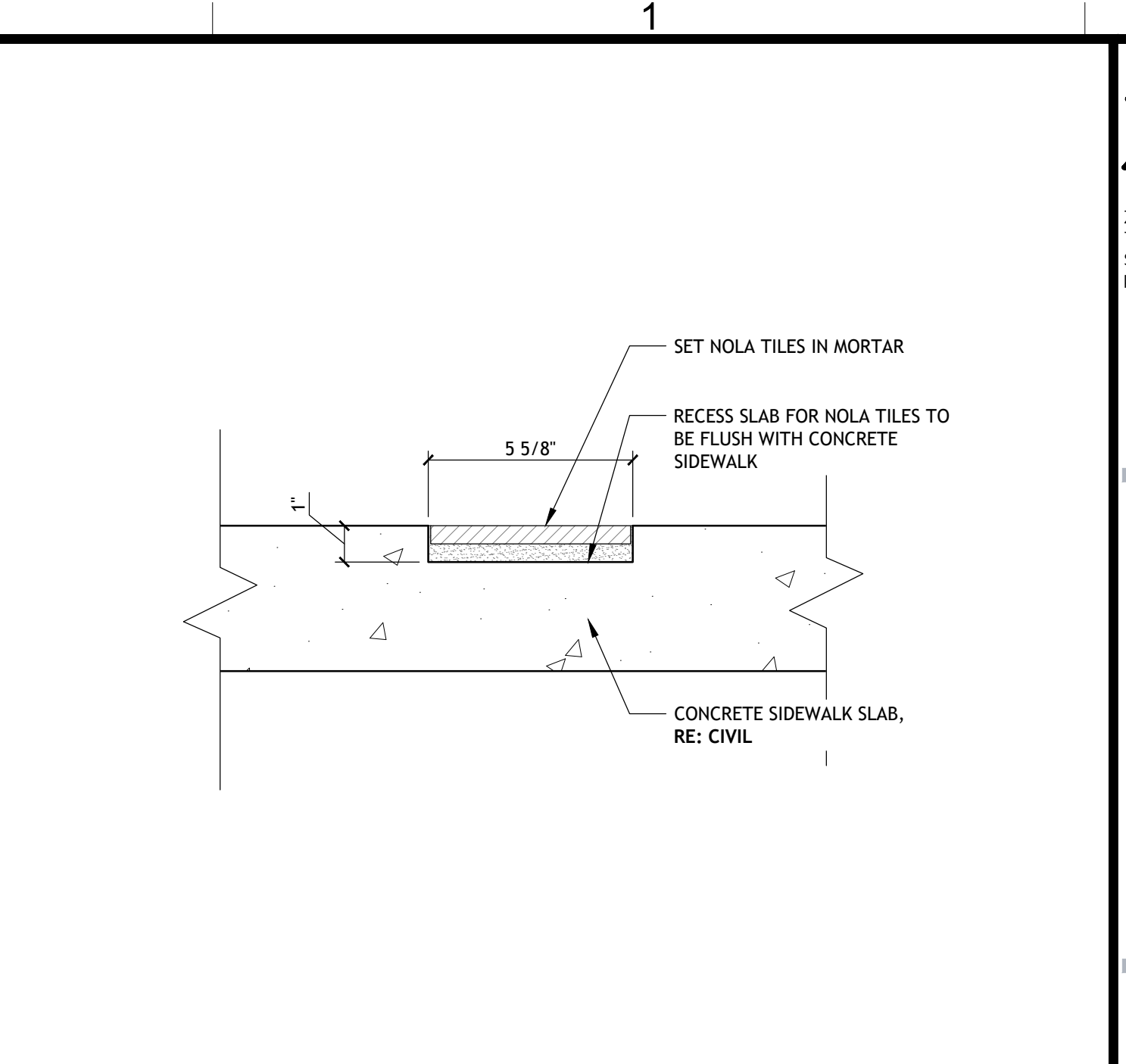
**BIKE RACK DETAIL** 3/4" = 1'-0" 1



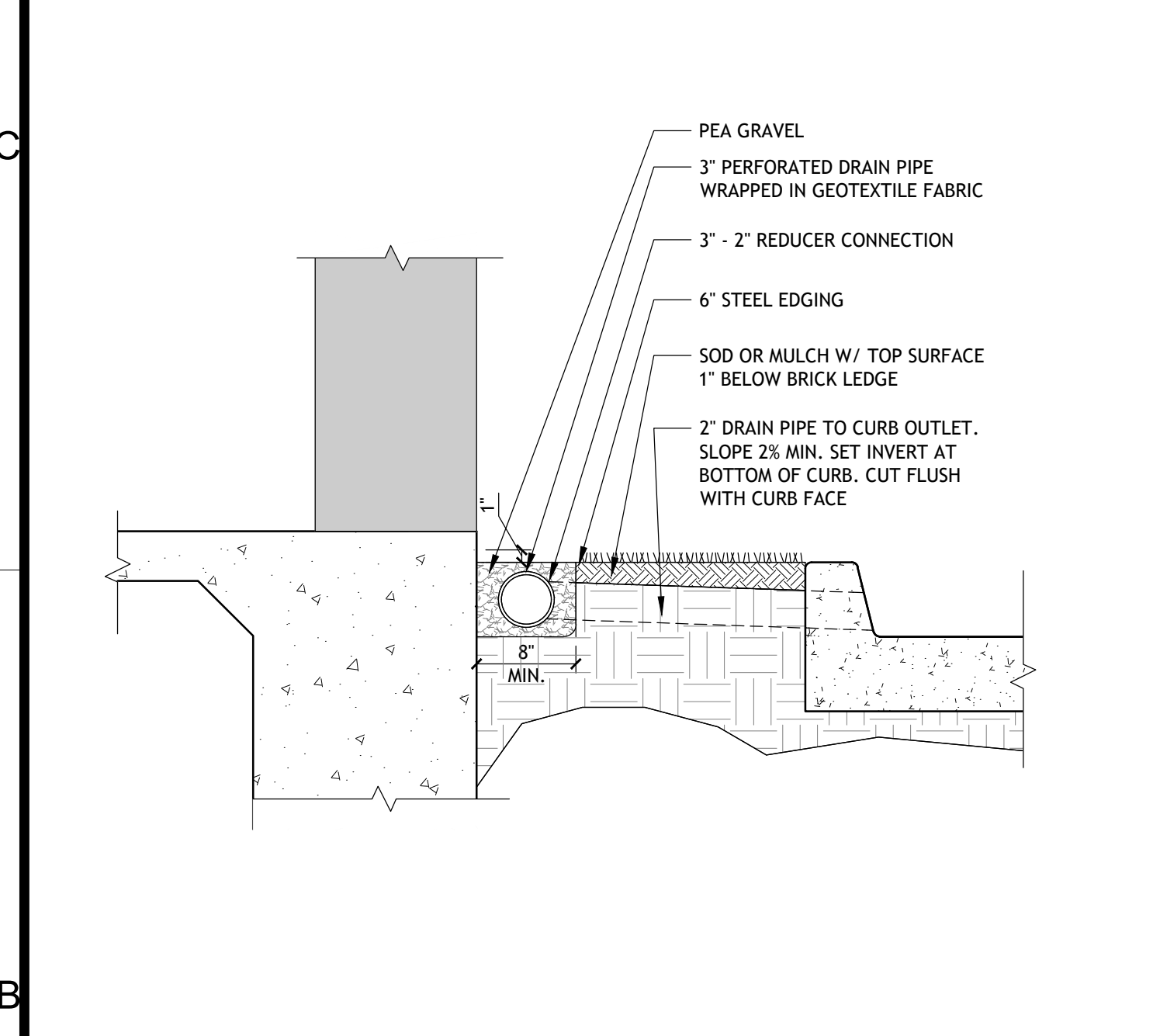
**PIPE BOLLARD DETAIL** 3/4" = 1'-0" 2



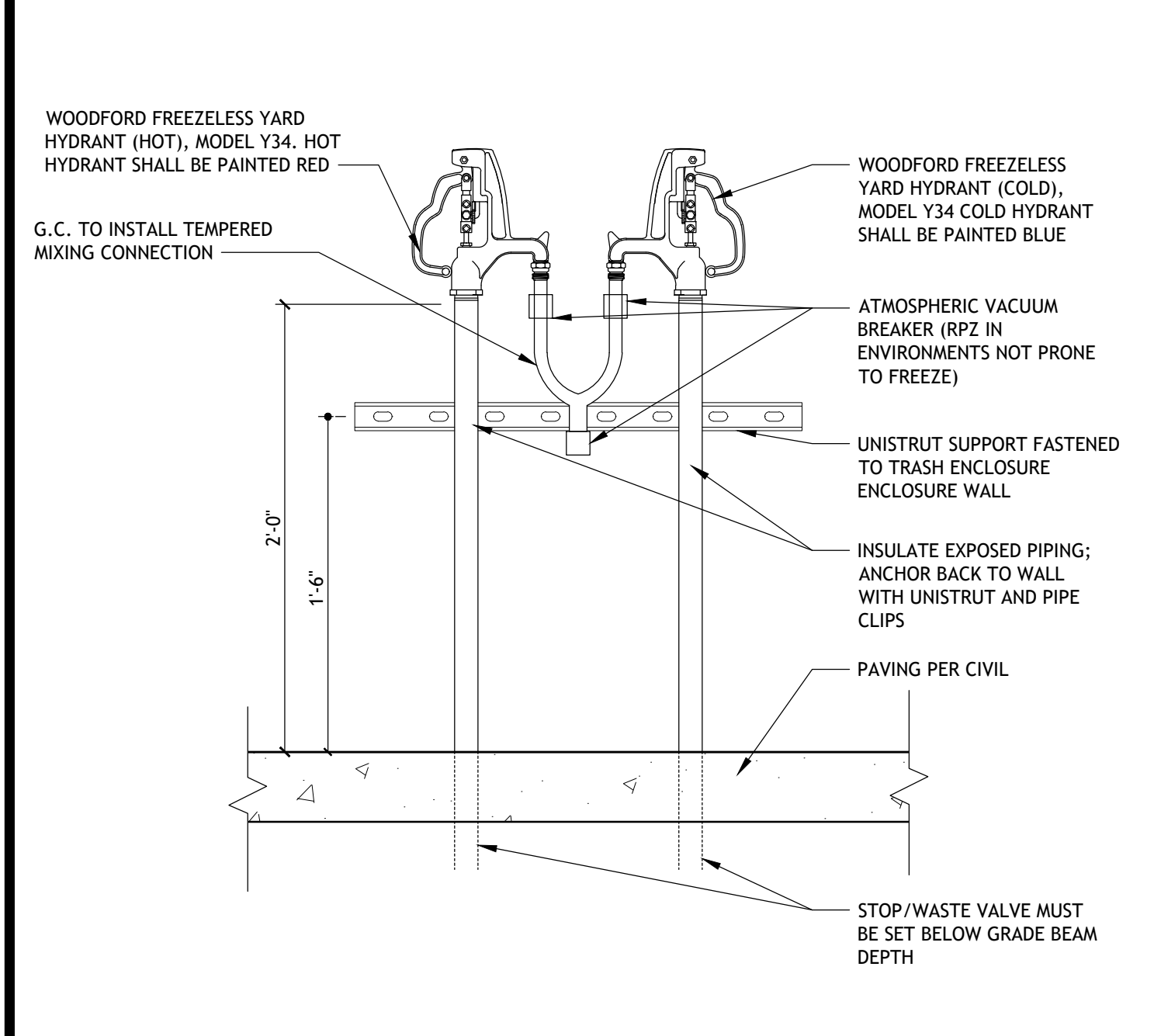
**NOLA TILES DETAIL** 3/4" = 1'-0" 3



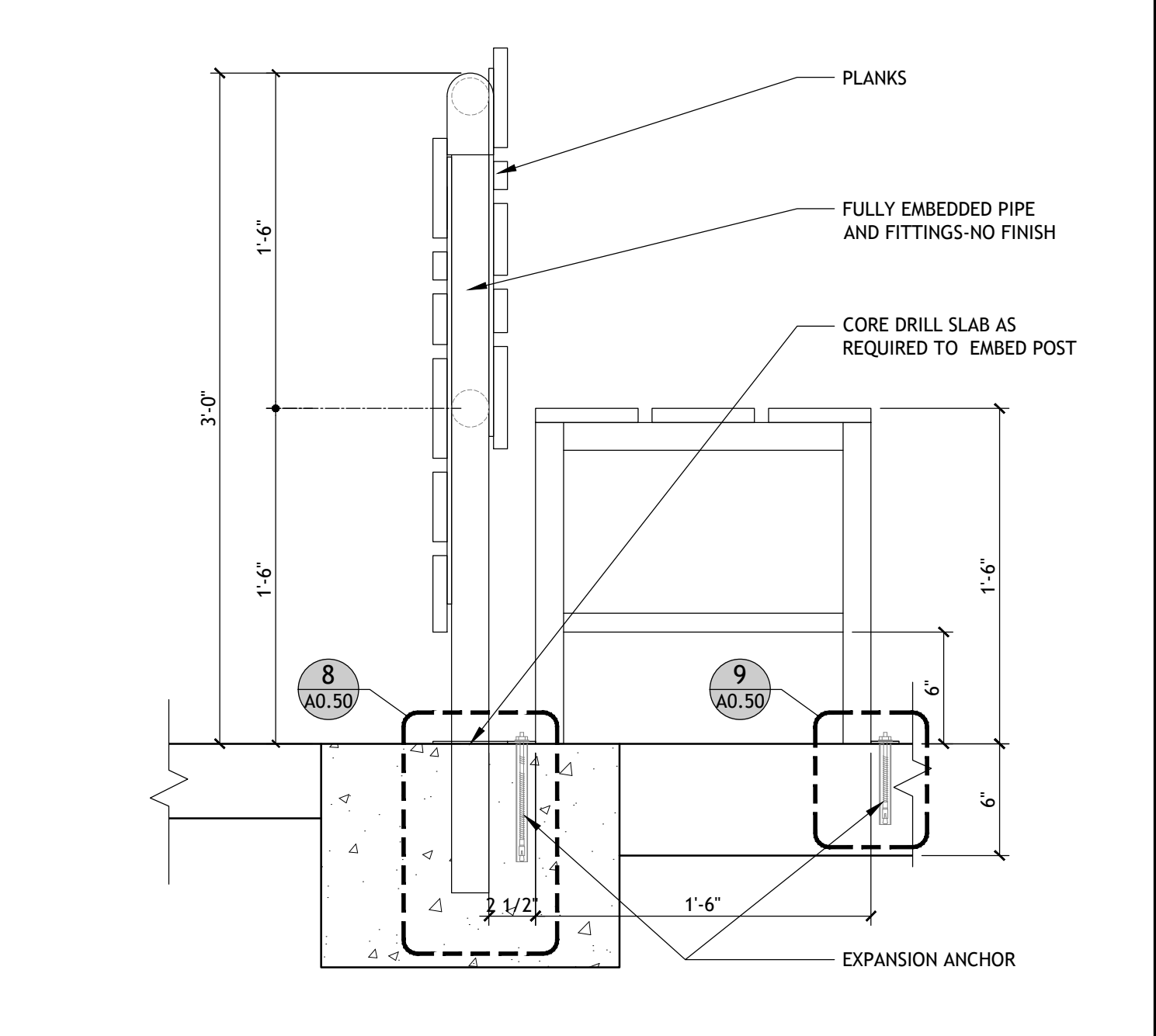
**NOLA TILE SECTION** 3" = 1'-0" 4



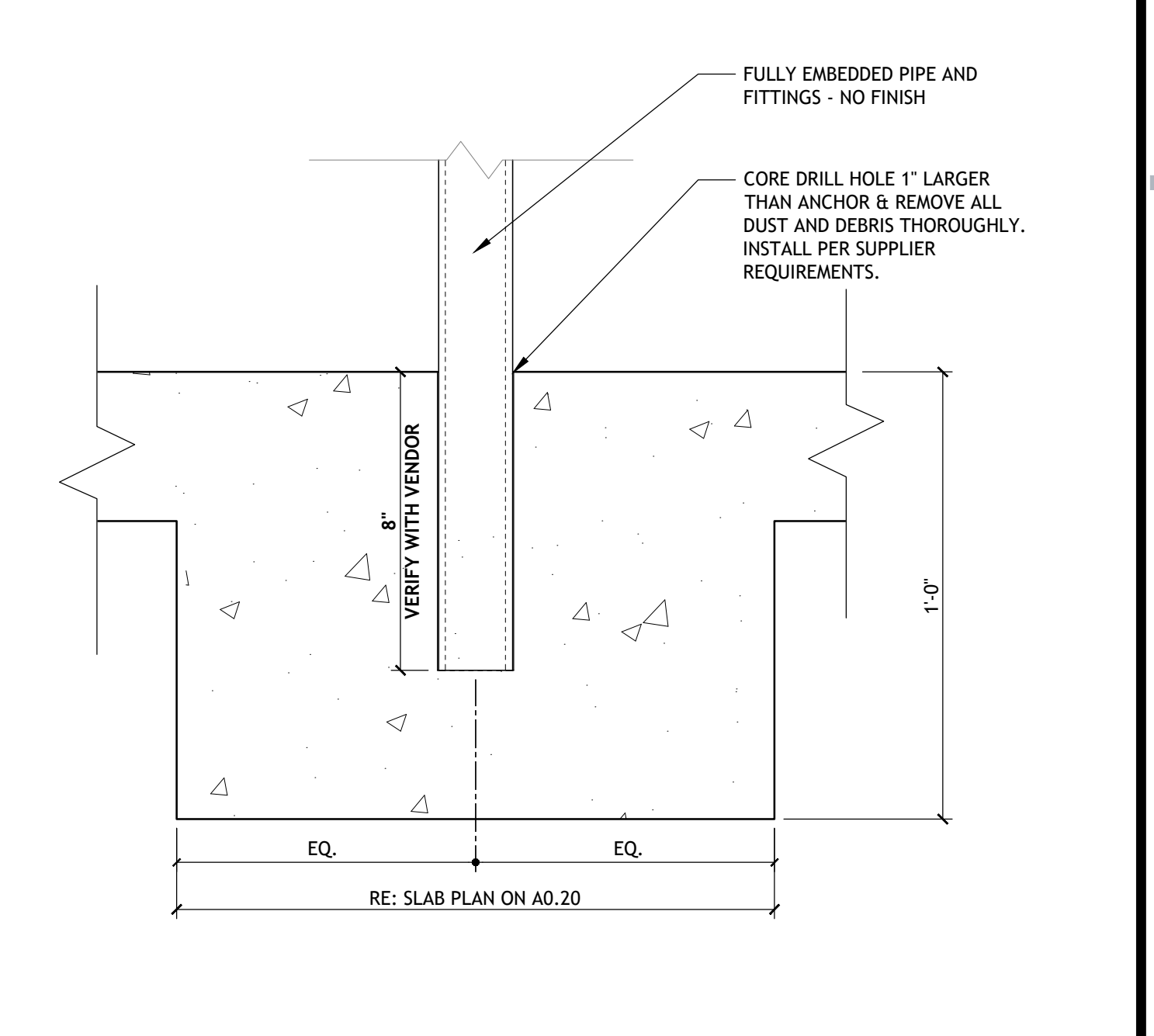
**FRENCH DRAIN DETAIL** 1" = 1'-0" 5



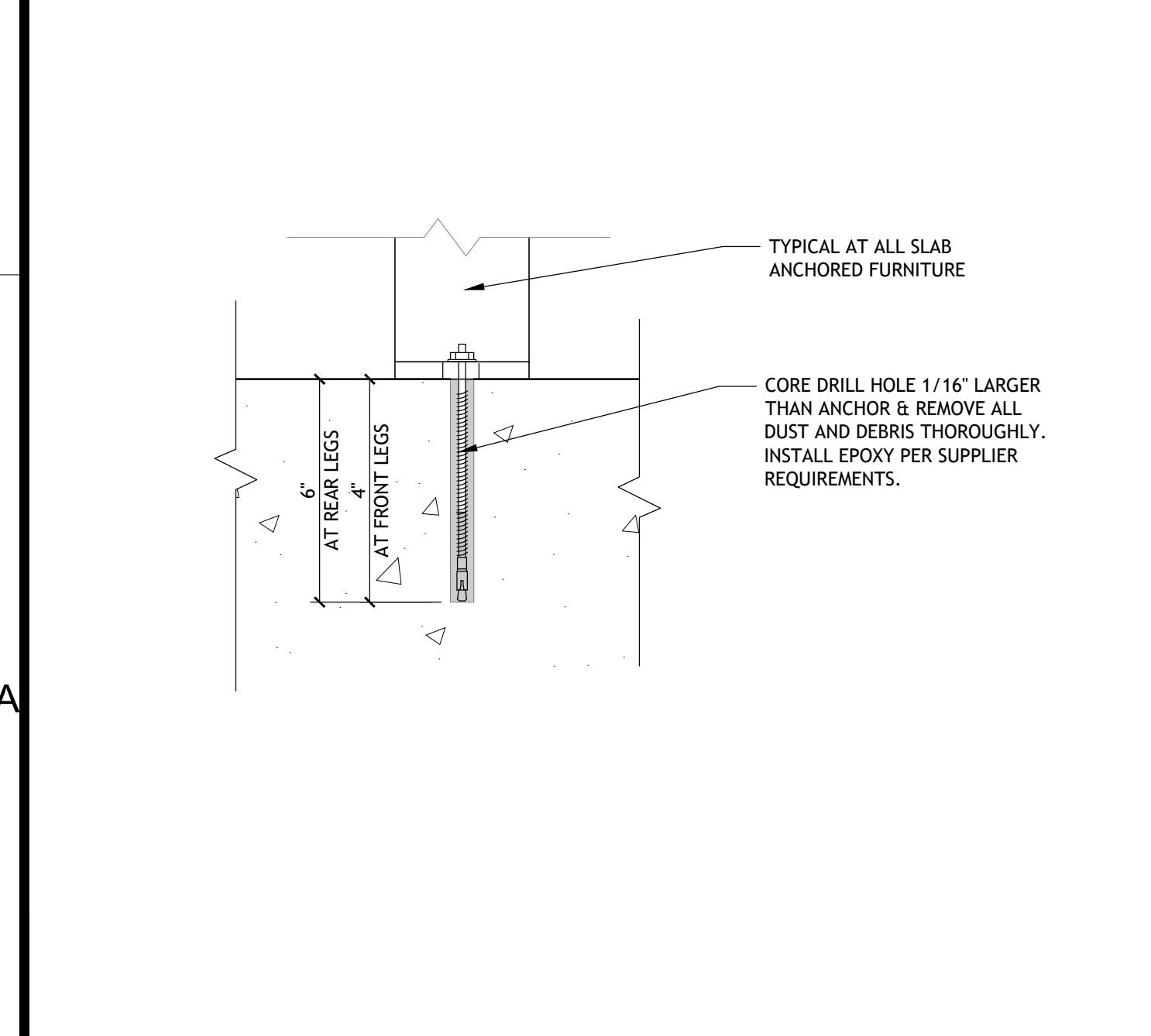
**POST HYDRANTS DETAIL** 1 1/2" = 1'-0" 6



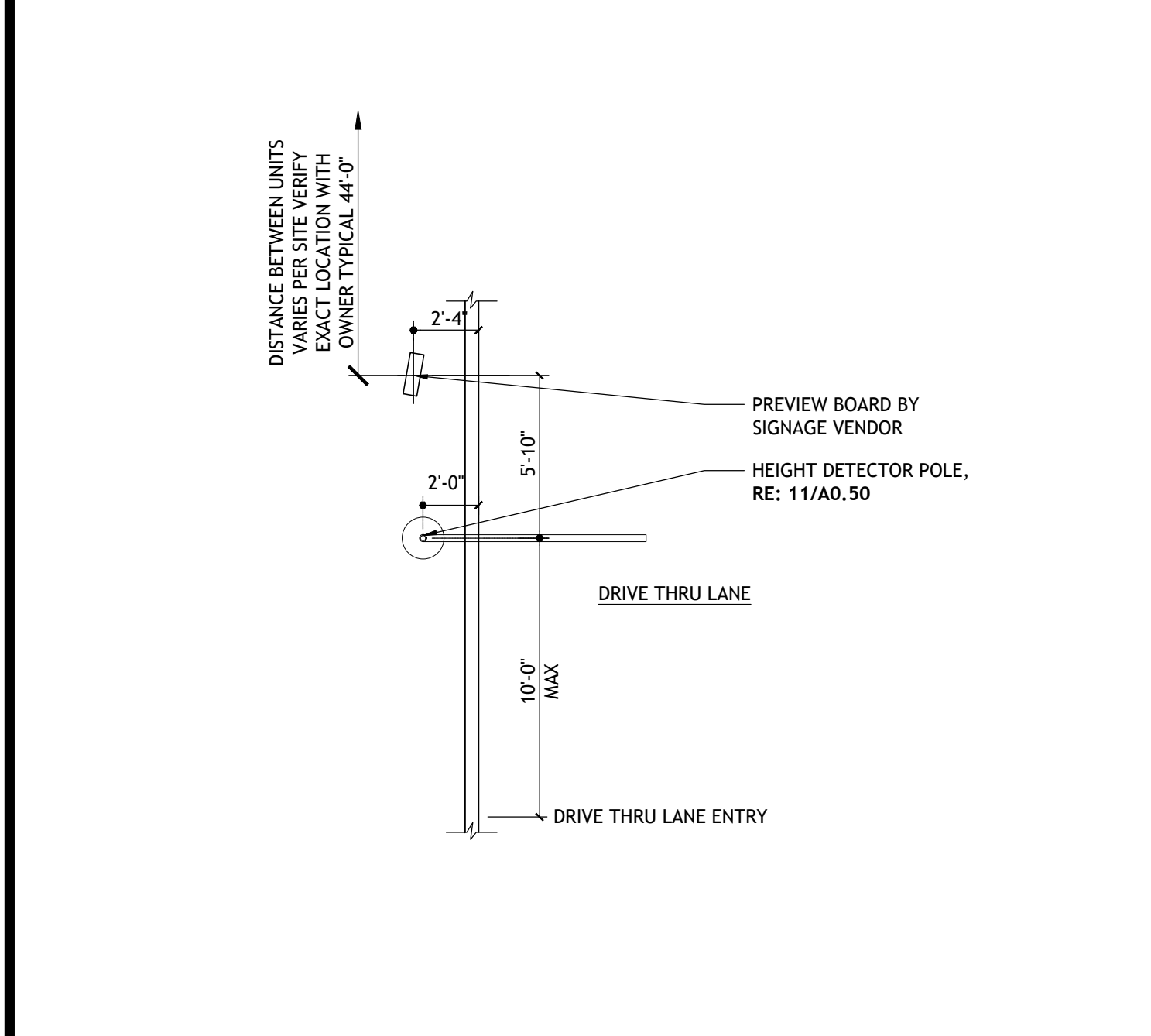
**PATIO FURNITURE DETAIL** 1 1/2" = 1'-0" 7



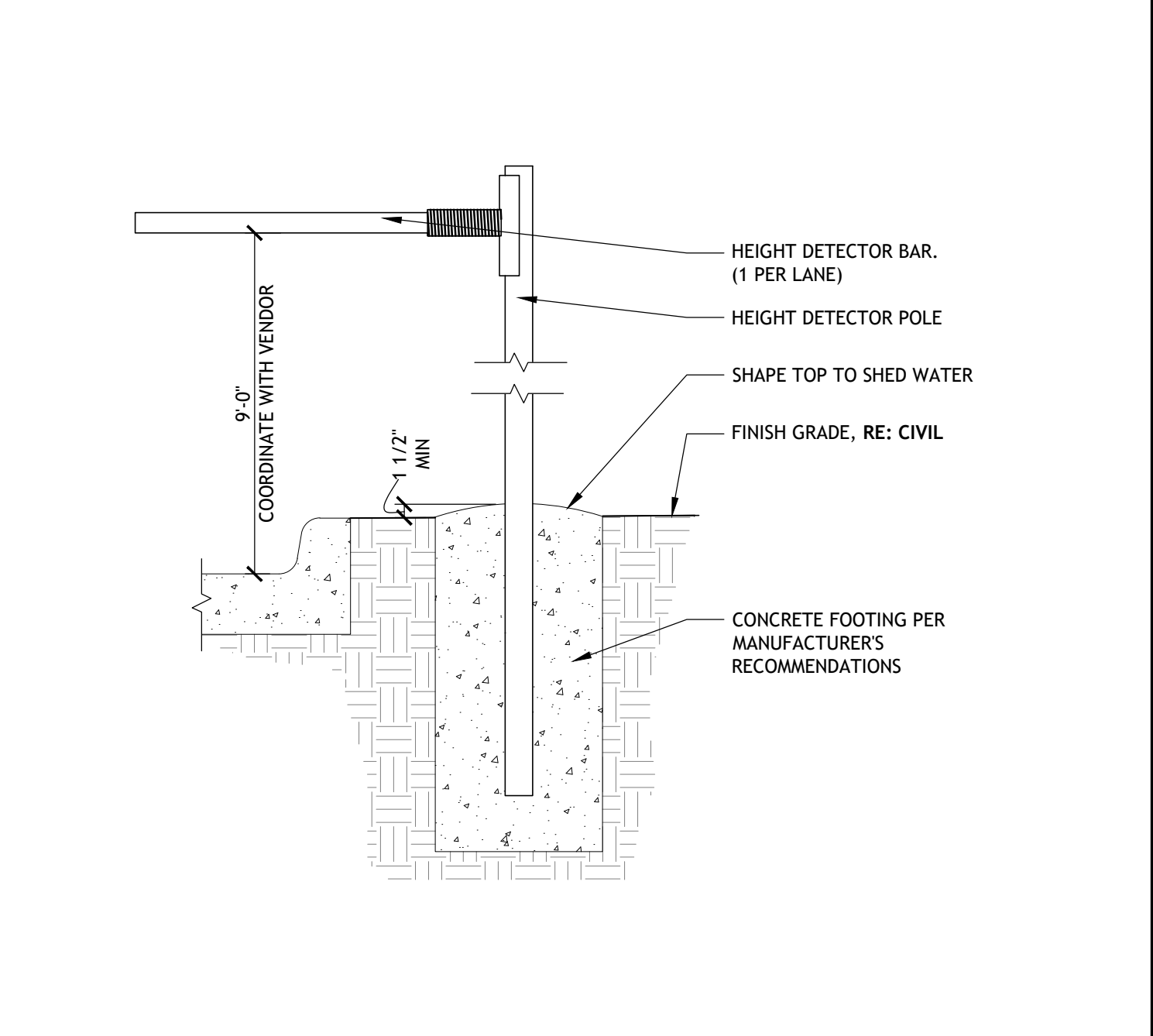
**PATIO POST DETAIL** 3" = 1'-0" 8



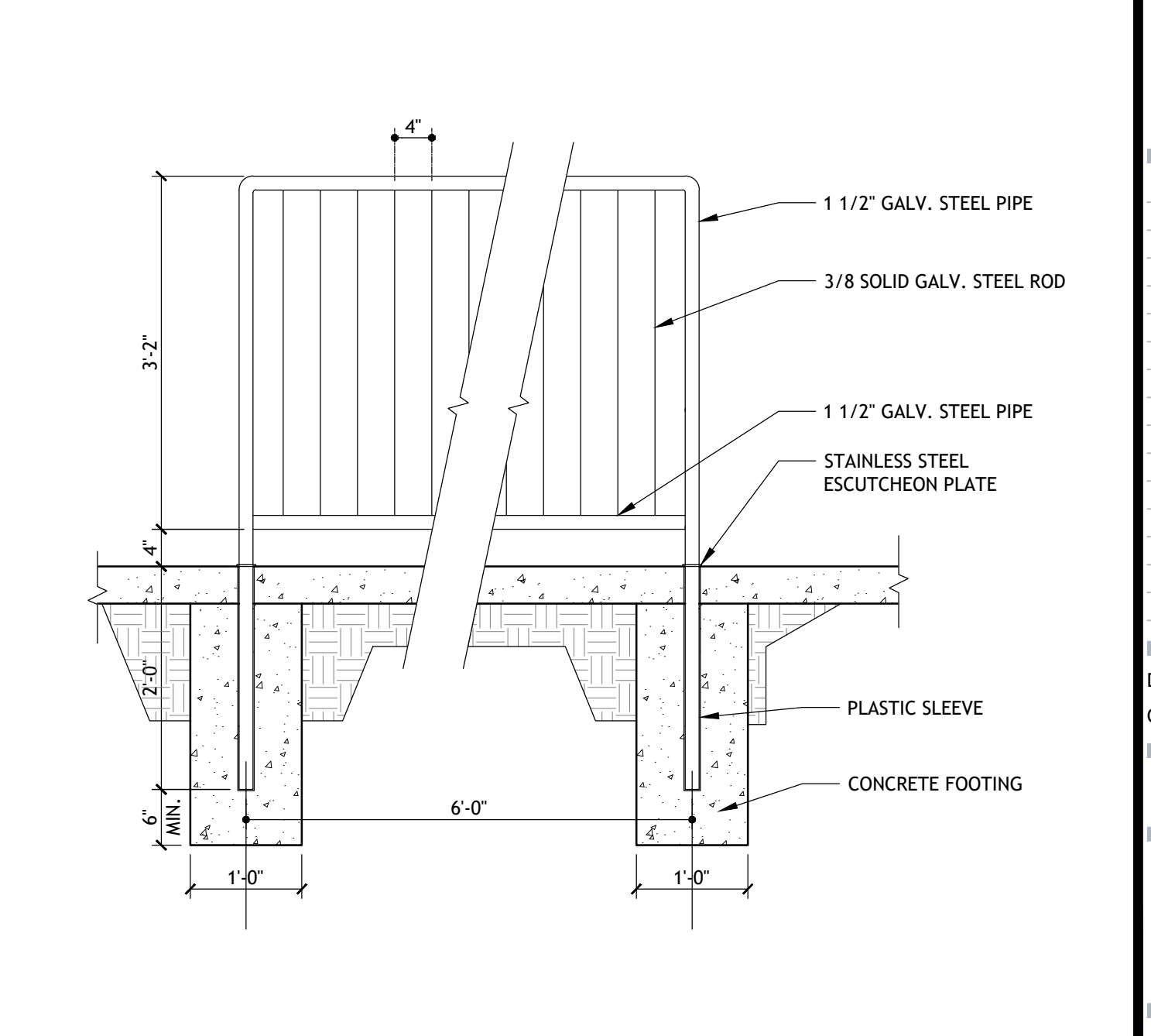
**EXPANSION ANCHOR DETAIL** 3" = 1'-0" 9



**HT. DETECTOR POLE PLAN** 3/16" = 1'-0" 10



**HT. DETECTOR POLE ELEV.** 3/4" = 1'-0" 11



**GUARDRAIL DETAIL** 3/4" = 1'-0" 12

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REV	DATE	DESCRIPTION
-	10.18.24	INITIAL SUBMITTAL
▲	12.16.24	TRAD 1 RESUBMITTAL

DRAWN BY: X  
 CHECKED BY: XX  
 ARCH. PROJECT NO.: P4E-AV  
 SHEET NAME: SITE DETAILS  
 SHEET NUMBER: A0.50

SITE PLAN REVIEW

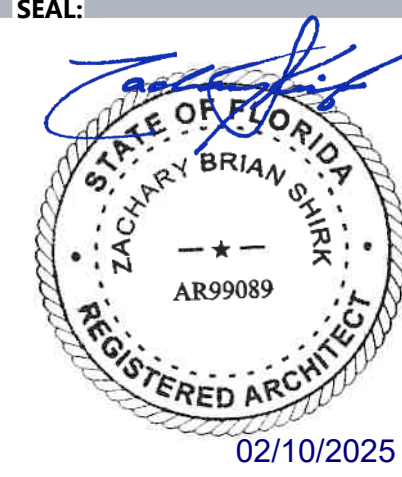
**KEYNOTES**

- 1 INSTALL DOOR STOP AT MID PANEL TO ALLOW 90 DEGREE SWING MIN. VERIFY MAX. SWING WILL NOT IMPACT ADJACENT BRICK
- 2 PROVIDE BUZZER
- 3 ROOF ACCESS LADDER
- 4 STEEL COLUMN, RE: STRUCTURAL
- 5 BRAILLE & RAISED LETTERING EXIT SIGNAGE PER ADAAG 703, RE: 2/A1.10
- 6 MAXIMUM OCCUPANCY SIGN, RE: 2/A1.10
- 7 NO SMOKING SIGN, RE: 2/A1.10
- 8 PIPE BOLLARD, RE: SITE DETAILS
- 9 EDGE OF MOP SINK SLOPE 1:3
- 10 ENCLOSE AREA ABOVE WALK-IN COOLER FULLY TO CEILING
- 11 3" PVC DRAIN LINE TO CURB OUTLET. DO NOT DISCHARGE TO LANDSCAPING
- 12 SQUARE UPLIGHT RECESSED INTO PAVING, RE: ELEC. FOR INSTALLATION DETAIL



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SEAL:

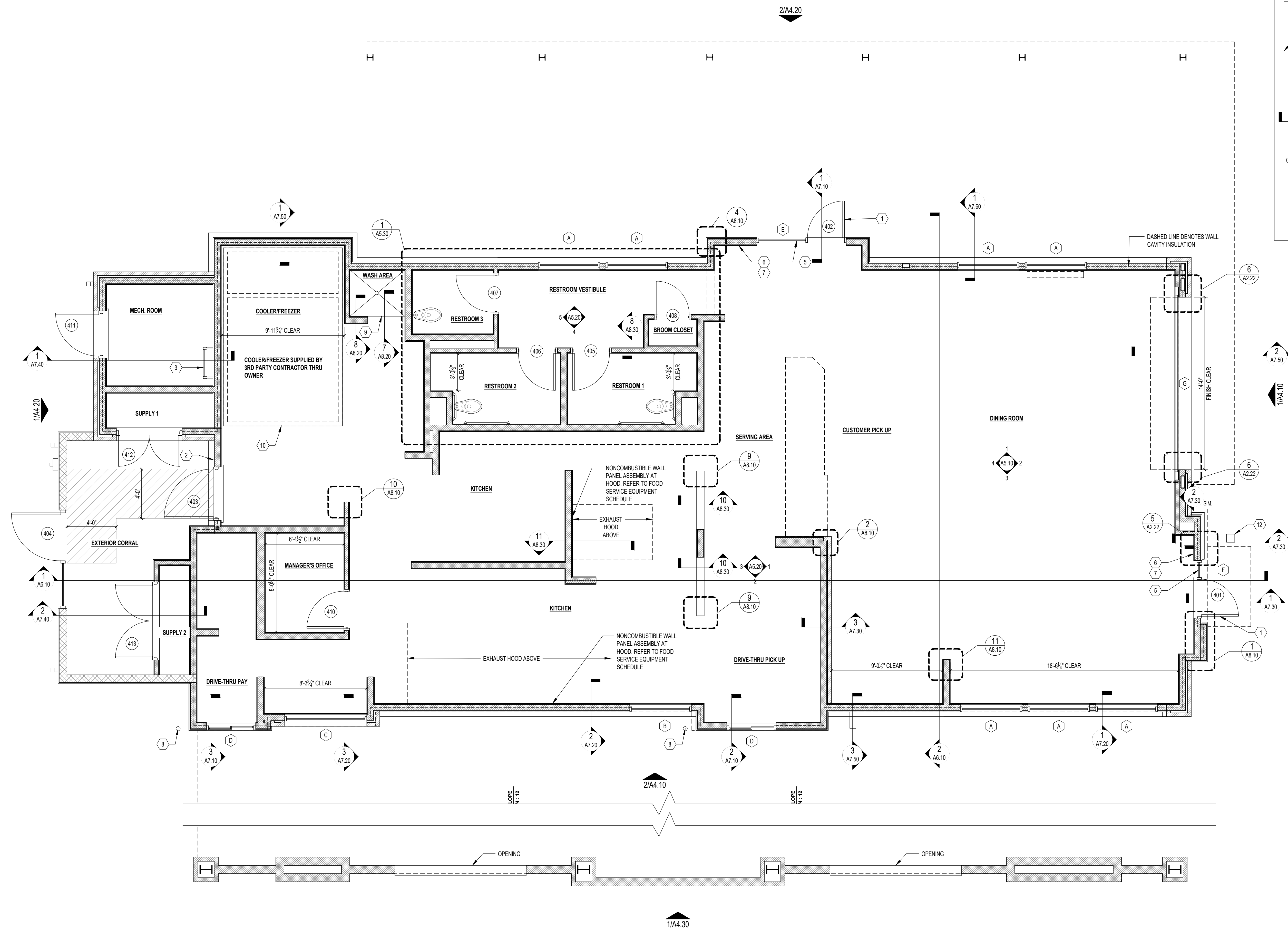


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CONSULTANT:

**SYMBOL LEGEND**

- WINDOW DESIGNATION
- KEY NOTE
- DOOR DESIGNATION
- ROOM NAME ROOM NAME
- ▲ 00 A0.00 DETAIL OR SECTION DESIGNATION
- 00 A0.00 INTERIOR ELEVATION MARK
- ▲ 0/A0.00 EXTERIOR ELEVATION MARK
- XXX-X FINISH TAG



1 KEYNOTE FLOOR PLAN  
1/8" = 1'-0"



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SHEET NAME:

FLOOR PLAN  
SHEET NUMBER:  
**A1.10**

SITE PLAN REVIEW

5

4

3

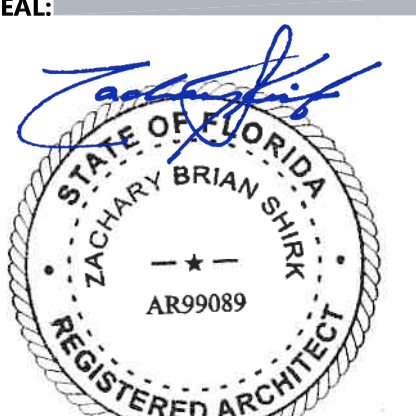
2

1

ROOF TOP EQUIPMENT AND ACCESSORIES	
1	RTU-1. PROVIDE TAPERED INSULATION CRICKET AT CURB.
2	RTU-2. PROVIDE TAPERED INSULATION CRICKET AT CURB.
3	MAKE-UP AIR UNIT. PROVIDE TAPERED INSULATION CRICKET AT CURB.
4	HOOD EXHAUST FAN. PROVIDE TAPERED INSULATION CRICKET AT CURB.
5	ICE MACHINE CONDENSER. RE: 7/A&21
6	COOLER / FREEZER CONDENSER. RE: 7/A&21
7	RESTROOM EXHAUST FAN
8	PARAPET BRACING. RE: STRUCTURAL
9	PRIMARY ROOF SCUPPER w/ CONDUCTOR HEAD AND 6"x4" DOWNSPOUT - COORDINATE w/ A0.10 FOR SITE DRAINAGE.
10	SECONDARY OVERFLOW SCUPPER
11	4"x4" DOWNSPOUT - COORDINATE w/ A0.10 FOR SITE DRAINAGE
12	4" ROUND DOWNSPOUT - COORDINATE w/ A0.10 FOR SITE DRAINAGE
13	ROOF ACCESS HATCH. PROVIDE TAPERED INSULATION CRICKET AT CURB.
14	GUARD RAIL
15	ROOF WALKWAY PADS
17	ROOF PENETRATION FOR CONDENSER UNIT. RE: 10/A&40
21	GAS WH EXHAUST
23	PLUMBING STACK VENT
24	ROOF HYDRANT (RE: PLUMB)
25	ROOF PENETRATION FOR IT EQUIPMENT
MAU	CONDENSER. RE: 7/A&21

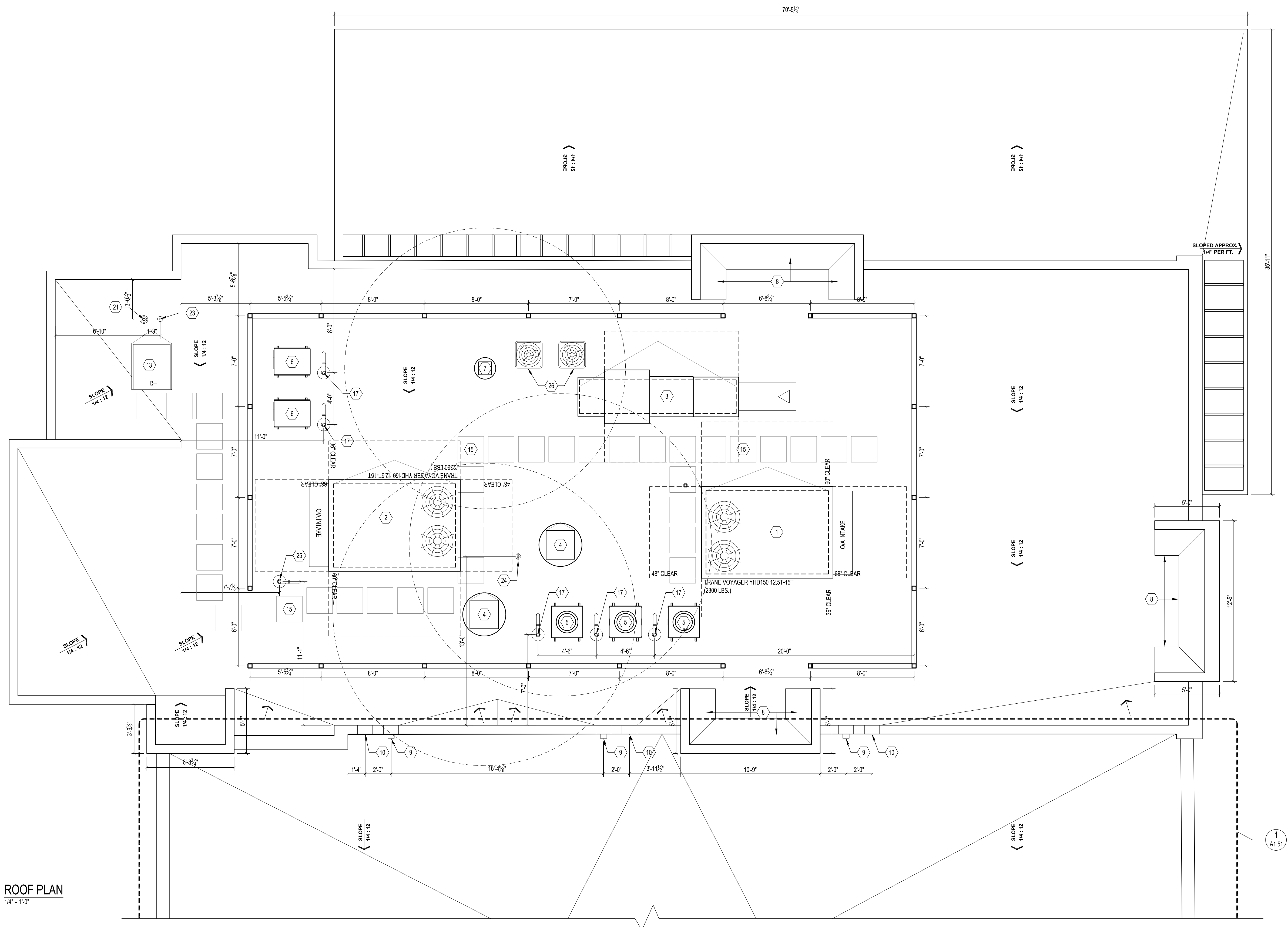
GENERAL NOTES	
1	THE DETAILS SHOWN ON THE DRAWINGS ARE TO BE CONSIDERED SCHEMATIC. ITEMS SUCH AS PARAPET FLASHING, GANTS, BLOCKING, ROOF PENETRATIONS AND EXPANSION JOINTS ARE TO BE INSTALLED PER MANUFACTURERS STANDARD ROOF DETAILS PRIOR TO THE BEGINNING OF THE WORK.
2	REFER TO TRUSS COORDINATION PLAN FOR DECK BEARING ELEVATION@ ROOF.
3	REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL ITEMS ON OR THROUGH ROOF.
4	CLEAN ROOF OF ALL CONSTRUCTION DEBRIS AT PROJECT COMPLETION.
5	ALL ROOF TOP MECHANICAL EQUIPMENT SHALL BE STRAPPED AND SECURED TO THE ROOF PER EQUIPMENT MANUFACTURER STANDARDS.
6	CONTRACTOR TO VERIFY WEIGHT AND LOADING REQUIREMENTS OF ALL ROOF TOP EQUIPMENT WITH DATA SHEETS PRIOR TO TRUSS DESIGN.
7	IN ADDITION, VERIFY WEIGHT AND LOADING OF WOOD MILLWORK ITEMS SUSPENDED FROM BOTTOM CHORD IN DINING ROOM.
8	GENERAL CONTRACTOR TO VERIFY REQUIREMENTS OF ALL ROOFTOP EQUIPMENT WITH SPECIFICATION SHEETS PRIOR TO TRUSS DESIGN.
9	GENERAL CONTRACTOR TO COORDINATE FREEZER EQUIPMENT PER MANUFACTURER SPECIFICATIONS.

**zebra**  
 ZEBRA ARCHITECTURE, PLLC  
 14614 N. KIERLAND BLVD. SUITE 15300  
 SCOTTSDALE, ARIZONA 85254  
 PHONE: 480.912.1169 zbr.global

SEAL:  
  
 02/10/2025

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CONSULTANT:



**1** ROOF PLAN  
 1/4" = 1'-0"



**RAISING CANE'S**  
 RESTAURANT NO.: #1307  
 14025 BISCAZYNE BLVD.  
 (BISCAZYNE BLVD & 143RD ST)  
 N. MIAMI BEACH, FLORIDA 33154

REV	DATE	DESCRIPTION
-	10.18.24	INITIAL SUBMITTAL
▲	12.16.24	TRAD 1 RESUBMITTAL

DRAWN BY: X  
 CHECKED BY: XX  
 ARCH. PROJECT NO.: P4E-AV  
 SHEET NAME: ROOF PLAN  
 SHEET NUMBER: A1.50

**A1.50**

SITE PLAN REVIEW

5

4

3

2

1

ROOF TOP EQUIPMENT AND ACCESSORIES

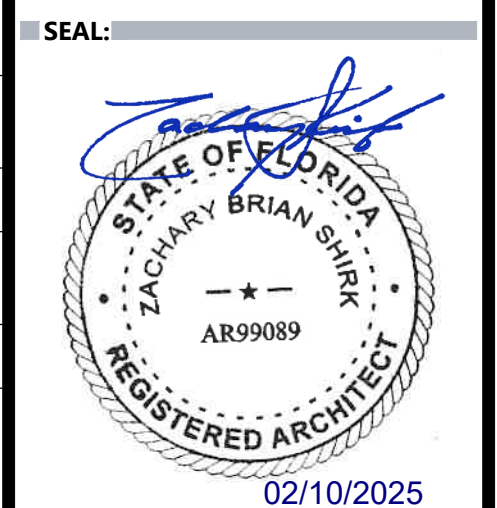
1	RTU-1. PROVIDE TAPERED INSULATION CRICKET AT CURB.
2	RTU-2. PROVIDE TAPERED INSULATION CRICKET AT CURB.
3	MAKE-UP AIR UNIT. PROVIDE TAPERED INSULATION CRICKET AT CURB.
4	HOOD EXHAUST FAN. PROVIDE TAPERED INSULATION CRICKET AT CURB.
5	ICE MACHINE CONDENSER. RE: 7/A8.21
6	COOLER / FREEZER CONDENSER. RE: 7/A8.21
7	RESTROOM EXHAUST FAN
8	PARAPET BRACING. RE: STRUCTURAL
9	PRIMARY ROOF SCUPPER W/ CONDUCTOR HEAD AND 6"x4" DOWNSPOUT - COORDINATE w/ A0.10 FOR SITE DRAINAGE. RE: 5/A8.40
10	SECONDARY OVERFLOW SCUPPER
11	4"x4" DOWNSPOUT - COORDINATE w/ A0.10 FOR SITE DRAINAGE
12	4" ROUND DOWNSPOUT - COORDINATE w/ A0.10 FOR SITE DRAINAGE
13	ROOF ACCESS HATCH. PROVIDE TAPERED INSULATION CRICKET AT CURB.
14	GUARD RAIL
15	ROOF WALKWAY PADS
17	ROOF PENETRATION FOR CONDENSER UNIT. RE: 10/A8.40
21	GAS WH EXHAUST
23	PLUMBING STACK VENT
24	ROOF HYDRANT (RE: PLUMB)
25	ROOF PENETRATION FOR IT EQUIPMENT
	MAU CONDENSER. RE: 7/A8.21

GENERAL NOTES

1	THE DETAILS SHOWN ON THE DRAWINGS ARE TO BE CONSIDERED SCHEMATIC. ITEMS SUCH AS PARAPET FLASHING, CANTS, BLOCKING, ROOF PENETRATIONS AND EXPANSION JOINTS ARE TO BE INSTALLED PER MANUFACTURERS STANDARD ROOF DETAILS PRIOR TO THE BEGINNING OF THE WORK.
2	REFER TO TRUSS COORDINATION PLAN FOR DECK BEARING ELEVATION@ ROOF.
3	REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL ITEMS ON OR THROUGH ROOF.
4	CLEAN ROOF OF ALL CONSTRUCTION DEBRIS AT PROJECT COMPLETION.
5	ALL ROOF TOP MECHANICAL EQUIPMENT SHALL BE STRAPPED AND SECURED TO THE ROOF PER EQUIPMENT MANUFACTURER STANDARDS.
6	CONTRACTOR TO VERIFY WEIGHT AND LOADING REQUIREMENTS OF ALL ROOF TOP EQUIPMENT WITH DATA SHEETS PRIOR TO TRUSS DESIGN.
7	IN ADDITION, VERIFY WEIGHT AND LOADING OF WOOD MILLWORK ITEMS SUSPENDED FROM BOTTOM CHORD IN DINING ROOM.
8	GENERAL CONTRACTOR TO VERIFY REQUIREMENTS OF ALL ROOFTOP EQUIPMENT WITH SPECIFICATION SHEETS PRIOR TO TRUSS DESIGN.
9	GENERAL CONTRACTOR TO COORDINATE FREEZER EQUIPMENT PER MANUFACTURER SPECIFICATIONS.

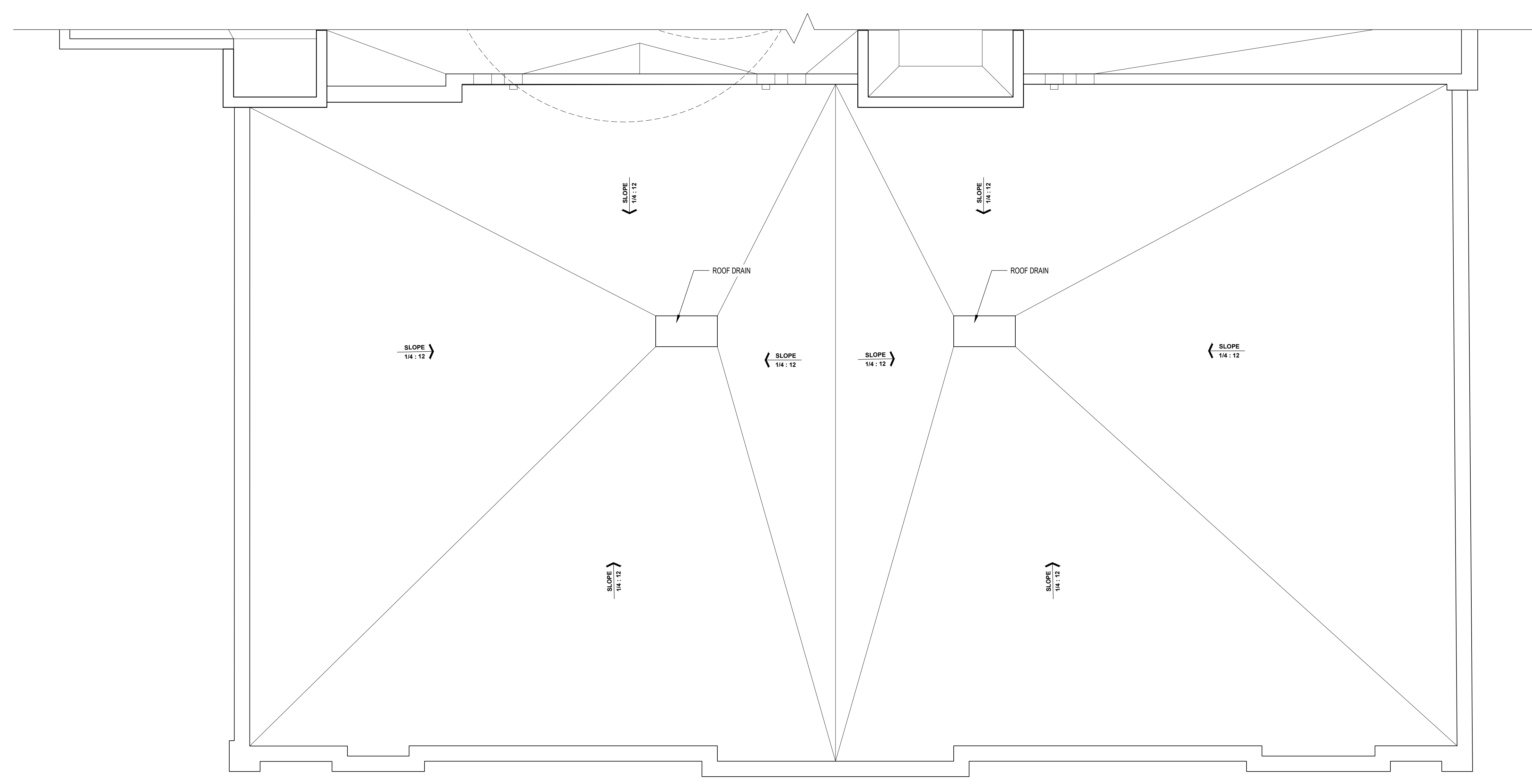


ZEBRA ARCHITECTURE, PLLC  
14614 N KIERLAND BLVD, SUITE N300  
SCOTTSDALE, ARIZONA 85254  
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CONSULTANT:



1 ROOF PLAN AT DRIVE THRU CANOPY  
1/4" = 1'-0"

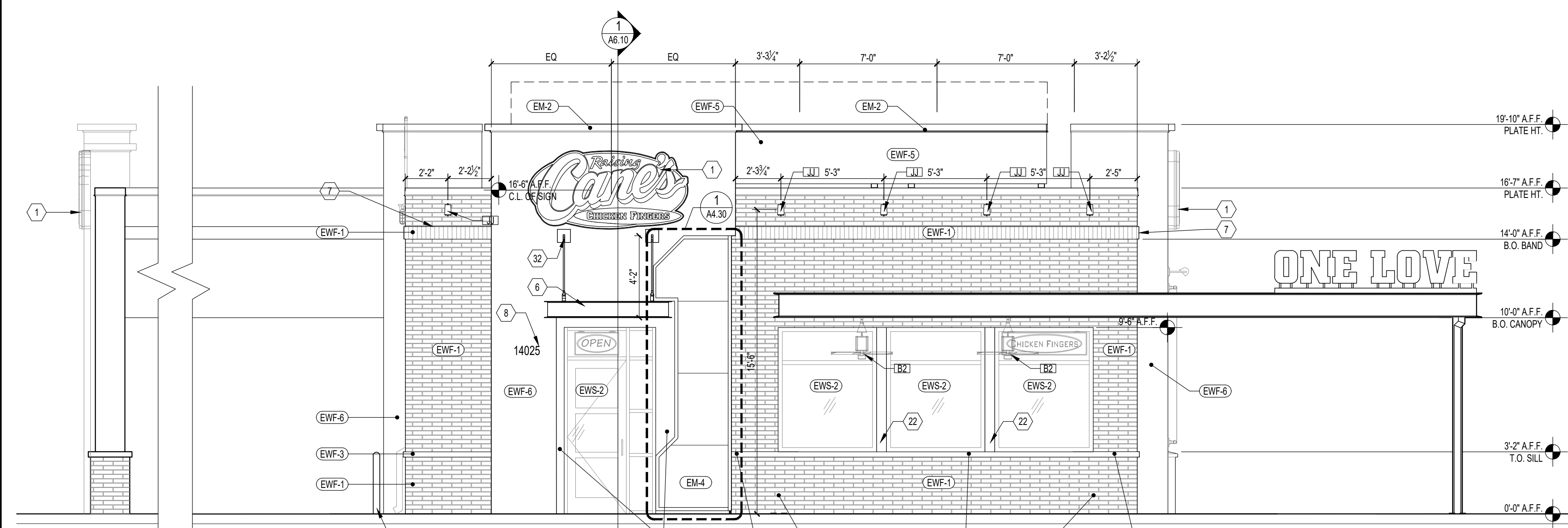


**RAISING CANE'S**  
RESTAURANT NO.: #1307  
14025 BISCAYNE BLVD.  
(BISCAYNE BLVD & 143RD ST)  
N. MIAMI BEACH, FLORIDA 33154 VERSION 2024-1.0

REV	DATE	DESCRIPTION
-	10.18.24	INITIAL SUBMITTAL
△	12.16.24	TRAD 1 RESUBMITTAL

DRAWN BY: X  
CHECKED BY: XX  
ARCH. PROJECT NO.: P4E-AV  
SHEET NAME:  
ROOF PLAN AT DRIVE THRU CANOPY  
SHEET NUMBER:  
**A1.51**

SITE PLAN REVIEW

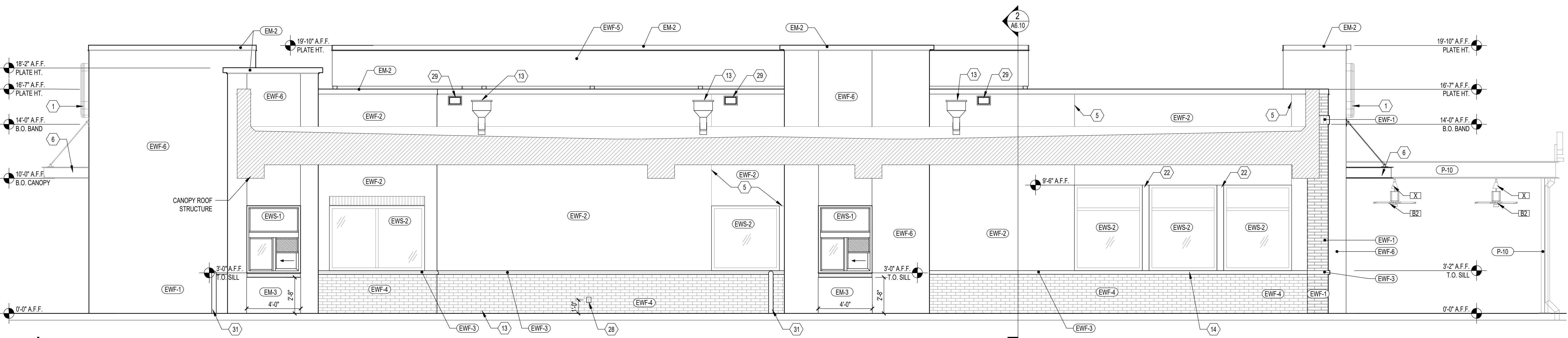
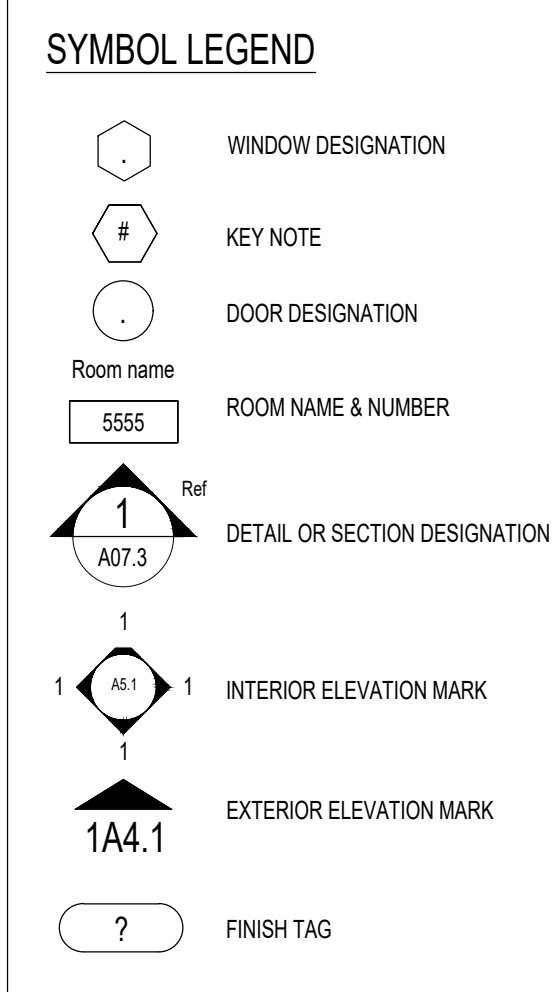


**1 | NORTH FRONT ELEVATION**  
1/4" = 1'-0"

SCHEDULE OF EXTERIOR MATERIALS				
KEY	MATERIALS	MANUFACTURER	PRODUCT	DESCRIPTION
EM-1	STANDING SEAM ROOF	BERRIDGE	REFER TO SPEC	KYNAR 500 MATTE BLACK GALVANIZED STEEL SHEET W/ KYNAR FINISH STANDARD COLOR
EM-2	METAL CAP FLASHING	REFER TO SPEC	REFER TO SPEC	KYNAR 500 MATTE BLACK GALVANIZED STEEL SHEET W/ KYNAR FINISH STANDARD COLOR
EM-3	POWDER COATED ALUMINUM	SIGNAGE SUPPLIER		CHARCOAL POWDER COATED ALUM. MATTE BLACK FINISH 0.063 GA
EM-4	METAL ACCENT PANELS	SIGNAGE SUPPLIER		DISTRESSED/SALVAGED RED METAL PANELS TO BE APPLIED OVER STUCCO WALL EWF-5
EWF-1	BRICK CLADDING	BELDEN	NORMAN STANDARD	MEDIUM RANGE IRON SPOT 1/2 RUNNING BOND. REFER TO DETAIL. MORTAR: SOLOMAN COLORS, INC. 10H LIGHT BUFF JOINT PROFILE: WEATHER-STRUCK
EWF-2	ELASTOMERIC COATING	DRYVIT	SANDPEBBLE E	SW7017 DORIAN GRAY APPLIED OVER PORTLAND CEMENT STUCCO AT EXTERIOR WALLS. APPLIED OVER MASONRY AT CORRAL.
EWF-3	CAST STONE LEDGE	MARCSTONE		6658 ARCHITECT'S GREY MORTAR: ARGOS MAGNOLIA MASON'S MIX
EWF-4	BRICK CLADDING	US BRICK	QUEEN BRICK	ALAMO MORTAR: LAFARGE IVORY BUFF. SACK RUB FINISH
EWF-5	ELASTOMERIC COATING	DRYVIT	SANDPEBBLE E	132 MOUNTAIN FOG APPLIED OVER PORTLAND CEMENT STUCCO EXTERIOR WALL. APPLIED OVER EIFS AT ROOF SCREEN.
EWF-6	ELASTOMERIC COATING	DRYVIT	SANDPEBBLE E	456 OYSTER SHELL APPLIED OVER PORTLAND CEMENT STUCCO AT EXTERIOR WALLS.
EWS-1	DRIVE-THRU WINDOW	REFER TO WINDOW SCHED.	REFER TO WINDOW SCHED.	REFER TO WINDOW SCHED.
EWS-2	ALUMINUM STOREFRONT	REFER TO WINDOW SCHED.	REFER TO WINDOW SCHED.	REFER TO WINDOW SCHED.

LRV TABLE	
EWF-2	DORIAN GRAY - LRV 39 > 35
EWF-5	MOUNTAIN FOG - LRV 44 > 35
EWF-6	OYSTER SHELL - LRV 69 > 35

- KEYNOTES**
- SIGN BY OWNER. PROVIDE BLOCKING AS RECD (4'-0" x 8'-0" OVAL)
  - FLAG, WHEN PERMITTED
  - WALL ART BY OWNER
  - CONTROL JOINT
  - PRE-FABRICATED METAL CANOPY, G.C. TO PERMIT SEPARATELY
  - 8" ACCENT BAND
  - ADDRESS NUMBERS IN 6" CHARACTERS, SIZE AND LOCATION AS REQUIRED BY AHJ
  - METAL, GUTTER & DOWNSPOUT, FINISH AS NOTED, RE: A0.10 FOR CONTINUATION
  - ROOF SCUPPER AND DOWNSPOUT, OMIT STUCCO BAND AT DOWNSPOUT, EM2
  - CAST STONE SILL
  - UTILITY METERS & CONDUIT, PAINT TO MATCH ADJACENT CLADDING MATERIAL
  - BRAKE METAL BETWEEN WINDOWS PRE-FINISHED TO MATCH STOREFRONT
  - EXTERIOR SPEAKERS
  - SECONDARY SCUPPER, RE: S1 A8.40 AND B1 A8.40
  - 4" BOLLARD W/ BLACK PLASTIC SLEEVE RE: 21A0.30
  - 2X WOOD BLOCKING REQUIRED IN WALL CAVITY. REFER TO WALL SECTIONS.
  - DARPRO OUTLET AND SECURITY BOX.
  - ORA 4-DIGIT KEY STORAGE BOX
  - CO2 PORT
- GENERAL NOTES**
- SIGNAGE TO BE APPROVED UNDER SEPARATE FILING (DEFERRED SUBMITTAL).
  - CANOPIES AND AWNINGS ARE REQUESTED AS DEFERRED SUBMITTALS AS INDICATED ON SHEET P.C.S. G.C. TO PERMIT CANOPIES AND AWNINGS USING MANUFACTURER SPECIFICATIONS AND SHOP DRAWINGS.
  - CONFIRM OUTDOOR SPEAKER LOCATIONS WITH I.T.
  - VERIFY ROOF FLAGS, LOGO SIGNS, PAINTED MURAL W/ SIGNAGE VENDOR.
- SEALANT NOTES**
- PROVIDE SEALANT & BACKER ROOS AT ALL DISSIMILAR MATERIALS.
  - MATCH FRAME COLOR AT ALL DOORS AND WINDOWS. MATCH ADJACENT WALL MATERIAL COLOR AT WALL PENETRATIONS AND CONSTRUCTION JOINTS. AT JOINT BETWEEN TWO DIFFERENT WALL MATERIALS, MATCH DARKER MATERIAL.



**2 | EAST DRIVE-THRU ELEVATION**  
1/4" = 1'-0"

**zebra**  
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14614 N KIERLAND BLVD, SUITE N3000  
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PHONE: 480.912.1169 zbr.global

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**CONSULTANT:**

**RAISING CANE'S**  
RESTAURANT NO.: #1307  
14025 BISCAYNE BLVD.  
(BISCAYNE BLVD & 143RD ST)  
N. MIAMI BEACH, FLORIDA 33154

**PROTOTYPE P4E-AV**  
SCHEME A of B  
VERSION 2024-1.0

REV	DATE	DESCRIPTION
-	10.18.24	INITIAL SUBMITTAL
▲	12.16.24	TRAD 1 RESUBMITTAL

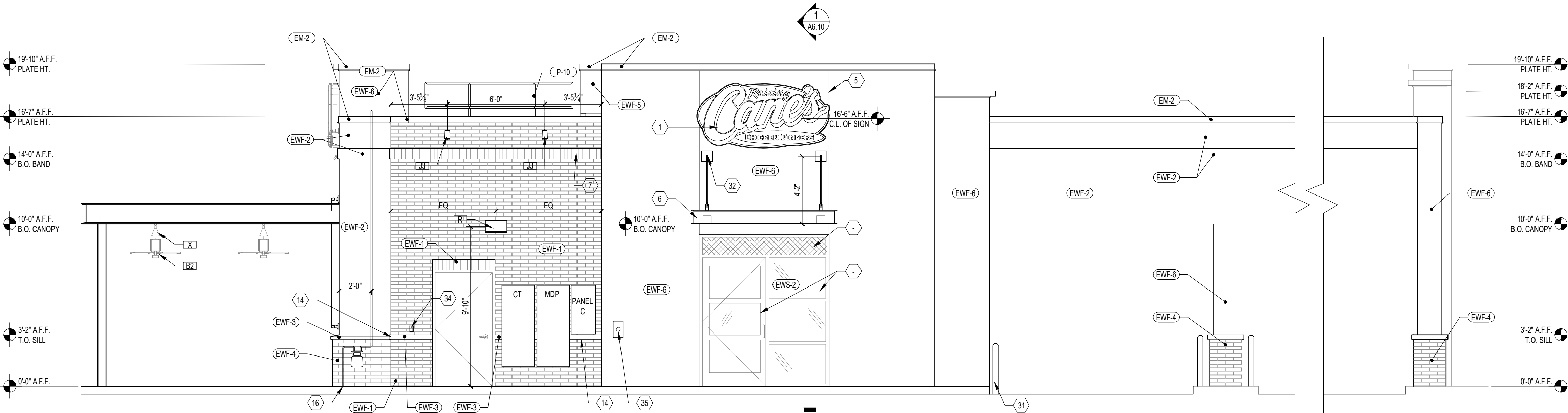
DRAWN BY: X  
CHECKED BY: XX

ARCH. PROJECT NO.: P4E-AV

SHEET NAME: EXTERIOR KEYNOTE ELEVATIONS

SHEET NUMBER: A4.10

**SITE PLAN REVIEW**



**1 | SOUTH REAR ELEVATION**  
1/4" = 1'-0"

SCHEDULE OF EXTERIOR MATERIALS					
KEY	MATERIALS	MANUFACTURER	PRODUCT	COLOR / FINISH	DESCRIPTION
EM-1	STANDING SEAM ROOF	BERRIDGE	REFER TO SPEC	KYNAR 500 MATTE BLACK	GALVANIZED STEEL SHEET W/ KYNAR FINISH STANDARD COLOR
EM-2	METAL CAP FLASHING	REFER TO SPEC	REFER TO SPEC	KYNAR 500 MATTE BLACK	GALVANIZED STEEL SHEET W/ KYNAR FINISH STANDARD COLOR
EM-3	POWDER COATED ALUMINUM	SIGNAGE SUPPLIER		CHARCOAL	POWDER COATED ALUM. MATTE BLACK FINISH 0.063 GA.
EM-4	METAL ACCENT PANELS	SIGNAGE SUPPLIER		DISTRESSED/SALVAGED RED	METAL PANELS TO BE APPLIED OVER STUCCO WALL EWF-5
EWF-1	BRICK CLADDING	BELDEN	NORMAN STANDARD	MEDIUM RANGE IRON SPOT	1/2" RUNNING BOND, REFER TO DETAIL. MORTAR: SOLOMAN COLORS, INC. 10H LIGHT BUFF JOINT PROFILE: WEATHER-STRUCK
EWF-2	ELASTOMERIC COATING	DRYVIT	SANDPEBBLE E	SW7017 DORIAN GRAY	APPLIED OVER PORTLAND CEMENT STUCCO AT EXTERIOR WALLS. APPLIED OVER MASONRY AT CORRAL.
EWF-3	CAST STONE LEDGE	MARCSTONE		6588 ABSOLUTE SLATE	MORTAR: ARGOS MAGNOLIA MASONS MIX
EWF-4	BRICK CLADDING	US BRICK	QUEEN BRICK	ALAMO	MORTAR: LAFARGE IVORY BUFF. SACK RUB FINISH
EWF-5	ELASTOMERIC COATING	DRYVIT	SANDPEBBLE E	132 MOUNTAIN FOG	APPLIED OVER PORTLAND CEMENT STUCCO EXTERIOR WALL. APPLIED OVER EIFS AT ROOF SCREEN.
EWF-6	ELASTOMERIC COATING	DRYVIT	SANDPEBBLE E	456 OYSTER SHELL	APPLIED OVER PORTLAND CEMENT STUCCO AT EXTERIOR WALLS.
EWS-1	DRIVE-THRU WINDOW	REFER TO WINDOW SCHED.	REFER TO WINDOW SCHED.	REFER TO WINDOW SCHED.	
EWS-2	ALUMINUM STOREFRONT	REFER TO WINDOW SCHED.	REFER TO WINDOW SCHED.	REFER TO WINDOW SCHED.	

LRV TABLE	
EWF-2	DORIAN GRAY - LRV 39 > 35
EWF-5	MOUNTAIN FOG - LRV 44 > 35
EWF-6	OYSTER SHELL - LRV 69 > 35

**KEYNOTES**

- SIGN BY OWNER. PROVIDE BLOCKING AS RECD (4'-0" x 8'-0" OVAL)
- FLAG WHEN PERMITTED
- WALL ART BY OWNER
- CONTROL JOINT
- PRE-FABRICATED METAL CANOPY, G.C. TO PERMIT SEPARATELY
- 8" ACCENT BAND
- ADDRESS NUMBERS IN 6" CHARACTERS, SIZE AND LOCATION AS REQUIRED BY AHJ
- METAL, GUTTER & DOWNSPOUT, FINISH AS NOTED, RE: A0.10 FOR CONTINUATION
- ROOF SCUPPER AND DOWNSPOUT, OMIT STUCCO BAND AT DOWNSPOUT, EM2
- CAST STONE SILL
- UTILITY METERS & CONDUIT, PAINT TO MATCH ADJACENT CLADDING MATERIAL
- BRAME METAL BETWEEN WINDOWS PRE-FINISHED TO MATCH STOREFRONT
- EXTERIOR SPEAKERS
- SECONDARY SCUPPER, RE: S1 A8.40 AND B1 A8.40
- 4" BOLLARD W/ BLACK PLASTIC SLEEVE RE: 21A0.30
- 2X WOOD BLOCKING REQUIRED IN WALL CAVITY, REFER TO WALL SECTIONS.
- DARPRO OUTLET AND SECURITY BOX.
- ORA 4-DIGIT KEY STORAGE BOX
- CO2 PORT

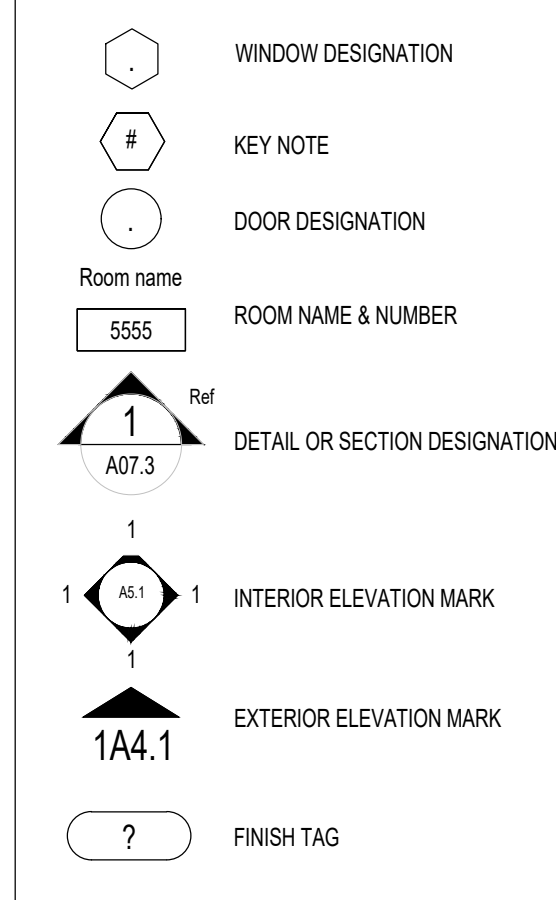
**GENERAL NOTES**

- SIGNAGE TO BE APPROVED UNDER SEPARATE FILING (DEFERRED SUBMITTAL).
- CANOPIES AND AWNINGS ARE REQUESTED AS DEFERRED SUBMITTALS AS INDICATED ON SHEET P.C.S. G.C. TO PERMIT CANOPIES AND AWNINGS USING MANUFACTURER SPECIFICATIONS AND SHOP DRAWINGS.
- CONFIRM OUTDOOR SPEAKER LOCATIONS WITH I.T.
- VERIFY ROOF FLAGS, LOGO SIGNS, PAINTED MURAL W/ SIGNAGE VENDOR.

**SEALANT NOTES**

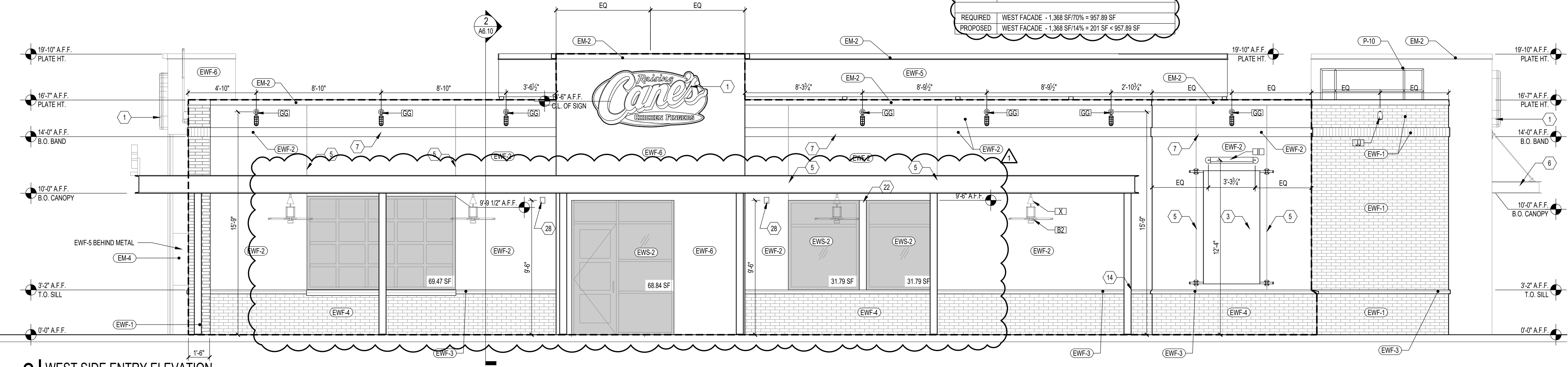
- PROVIDE SEALANT & BACKER RODS AT ALL DISSIMILAR MATERIALS.
- MATCH FRAME COLOR AT ALL DOORS AND WINDOWS. MATCH ADJACENT WALL MATERIAL COLOR AT WALL PENETRATIONS AND CONSTRUCTION JOINTS, AT JOINT BETWEEN TWO DIFFERENT WALL MATERIALS, MATCH DARKER MATERIAL.

**SYMBOL LEGEND**



**BUILDING TYPOLOGY & GLAZING TABLE**

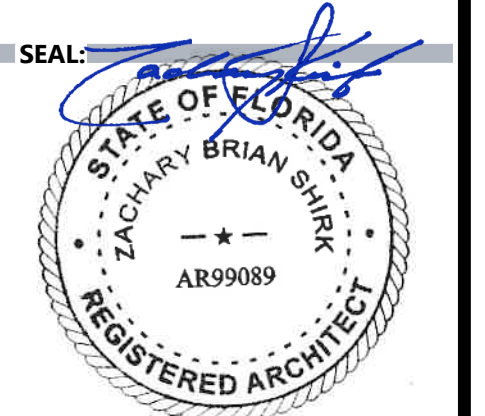
B-2	FLEX TYPOLOGY - 70% OPEN SPACE FORECOURT PER MIU-12
REQUIRED	WEST FACADE - 1,368 SF/70% = 957.89 SF
PROPOSED	WEST FACADE - 1,368 SF/14% = 201 SF = 957.89 SF



**2 | WEST SIDE ENTRY ELEVATION**  
1/4" = 1'-0"



ZEBRA ARCHITECTURE, PLLC  
14614 N. KIERLAND BLVD., SUITE N5000  
SCOTTSDALE, ARIZONA 85254  
PHONE: 480.912.1169 zbr.global



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**CONSULTANT:**



**RAISING CANE'S**  
RESTAURANT NO.: #1307  
14025 BISCAYNE BLVD.  
(BISCAYNE BLVD & 143RD ST)  
N. MIAMI BEACH, FLORIDA 33154

REV	DATE	DESCRIPTION
-	10.18.24	INITIAL SUBMITTAL
▲	12.16.24	TRAD 1 RESUBMITTAL

DRAWN BY: X  
CHECKED BY: XX  
ARCH. PROJECT NO.: P4E-AV  
SHEET NAME:

EXTERIOR KEYNOTE ELEVATIONS

SHEET NUMBER: **A4.20**

SITE PLAN REVIEW

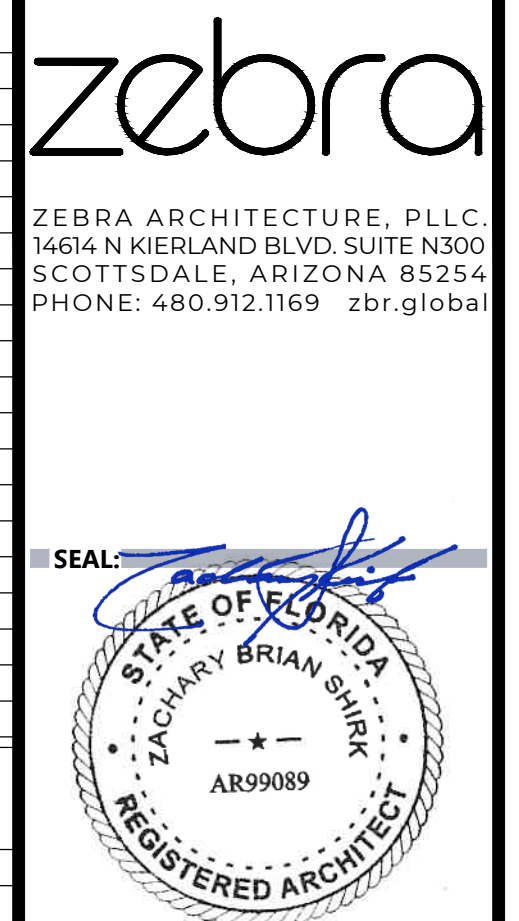
KEYNOTES	
1	SIGN BY OWNER. PROVIDE BLOCKING AS RECD (4'-0" x 8'-0" OVAL)
2	FLAG WHEN PERMITTED
3	WALL ART BY OWNER
5	CONTROL JOINT
6	PRE-FABRICATED METAL CANOPY, G.C. TO PERMIT SEPARATELY
7	8" ACCENT BAND
8	ADDRESS NUMBERS IN 6" CHARACTERS, SIZE AND LOCATION AS REQUIRED BY AHJ
12	METAL, GUTTER & DOWNSPOUT, FINISH AS NOTED, RE: A0.10 FOR CONTINUATION
13	ROOF SCUPPER AND DOWNSPOUT, OMIT STUCCO BAND AT DOWNSPOUT, EM2
14	CAST STONE SILL
16	UTILITY METERS & CONDUIT, PAINT TO MATCH ADJACENT CLADDING MATERIAL
22	BRAKE METAL BETWEEN WINDOWS PRE-FINISHED TO MATCH STOREFRONT
28	EXTERIOR SPEAKERS
29	SECONDARY SCUPPER, RE: 5' A8-40 AND 6' A8-40
31	4" BOLLARD W/ BLACK PLASTIC SLEEVE RE: 2/A0.30
32	2X WOOD BLOCKING REQUIRED IN WALL CAVITY, REFER TO WALL SECTIONS.
33	DARPRO OUTLET AND SECURITY BOX.
34	ORA 4-DIGIT KEY STORAGE BOX
35	CO2 PORT

GENERAL NOTES	
1	SIGNAGE TO BE APPROVED UNDER SEPARATE FILING (DEFERRED SUBMITTAL).
2	CANOPIES AND AWINGS ARE REQUESTED AS DEFERRED SUBMITTALS AS INDICATED ON SHEET P.C.S. G.C. TO PERMIT CANOPES AND AWINGS USING MANUFACTURER SPECIFICATIONS AND SHOP DRAWINGS.
3	CONFIRM OUTDOOR SPEAKER LOCATIONS WITH I.T.
4	VERIFY ROOF FLAGS, LOGO SIGNS, PAINTED MURAL W/ SIGNAGE VENDOR.

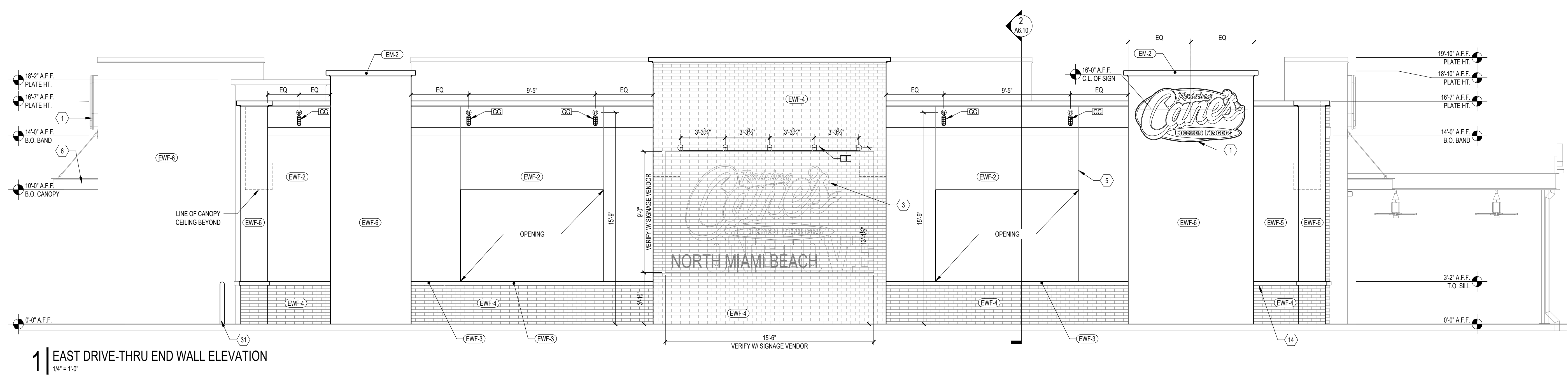
SEALANT NOTES	
1	PROVIDE SEALANT & BACKER ROOS AT ALL DISSIMILAR MATERIALS.
2	MATCH FRAME COLOR AT ALL DOORS AND WINDOWS. MATCH ADJACENT WALL MATERIAL COLOR AT WALL PENETRATIONS AND CONSTRUCTION JOINTS. AT JOINT BETWEEN TWO DIFFERENT WALL MATERIALS, MATCH DARKER MATERIAL.



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SCHEDULE OF EXTERIOR MATERIALS					
KEY	MATERIALS	MANUFACTURER	PRODUCT	COLOR / FINISH	DESCRIPTION
EM-1	STANDING SEAM ROOF	BERRIDGE	REFER TO SPEC	KYNAR 500 MATTE BLACK	GALVANIZED STEEL SHEET W/ KYNAR FINISH STANDARD COLOR
EM-2	METAL CAP FLASHING	REFER TO SPEC	REFER TO SPEC	KYNAR 500 MATTE BLACK	GALVANIZED STEEL SHEET W/ KYNAR FINISH STANDARD COLOR
EM-3	POWDER COATED ALUMINUM	SIGNAGE SUPPLIER		CHARCOAL	POWDER COATED ALUM. MATTE BLACK FINISH 0.063 GA
EM-4	METAL ACCENT PANELS	SIGNAGE SUPPLIER		DISTRESSED/SALVAGED RED	METAL PANELS TO BE APPLIED OVER STUCCO WALL EWF-5
EW-1	BRICK CLADDING	BELDEN	NORMAN STANDARD	MEDIUM RANGE IRON SPOT	1/2 RUNNING BOND, REFER TO DETAIL. MORTAR: SOLOMAN COLORS, INC. 10H LIGHT BUFF JOINT PROFILE: WEATHER-STRUCK
EW-2	ELASTOMERIC COATING	DRYVIT	SANDPEBBLE E	SW7017 DORIAN GRAY	APPLIED OVER PORTLAND CEMENT STUCCO AT EXTERIOR WALLS. APPLIED OVER MASONRY AT CORRAL.
EW-3	CAST STONE LEDGE	MARCSTONE		6658 ARCHITECT'S GREY	MORTAR: ARGOS MAGNOLIA MASON'S MIX
EW-4	BRICK CLADDING	US BRICK	QUEEN BRICK	ALAMO	MORTAR: LAFARGE IVORY BUFF, SACK RUB FINISH
EW-5	ELASTOMERIC COATING	DRYVIT	SANDPEBBLE E	132 MOUNTAIN FOG	APPLIED OVER PORTLAND CEMENT STUCCO EXTERIOR WALL. APPLIED OVER EIFS AT ROOF SCREEN.
EW-6	ELASTOMERIC COATING	DRYVIT	SANDPEBBLE E	456 OYSTER SHELL	APPLIED OVER PORTLAND CEMENT STUCCO AT EXTERIOR WALLS.
EWS-1	DRIVE-THRU WINDOW	REFER TO WINDOW SCHED.	REFER TO WINDOW SCHED.	REFER TO WINDOW SCHED.	
EWS-2	ALUMINUM STOREFRONT	REFER TO WINDOW SCHED.	REFER TO WINDOW SCHED.	REFER TO WINDOW SCHED.	

SYMBOL LEGEND	
	WINDOW DESIGNATION
	KEY NOTE
	DOOR DESIGNATION
	ROOM NAME & NUMBER
	DETAIL OR SECTION DESIGNATION
	INTERIOR ELEVATION MARK
	EXTERIOR ELEVATION MARK
	FINISH TAG



1 | EAST DRIVE-THRU END WALL ELEVATION  
 1/4" = 1'-0"



**RAISING CANE'S**  
 RESTAURANT NO.: #1307  
 14025 BISCAYNE BLVD.  
 (BISCAYNE BLVD & 143RD ST)  
 N. MIAMI BEACH, FLORIDA 33154

REV	DATE	DESCRIPTION
-	10.18.24	INITIAL SUBMITTAL
▲	12.16.24	TRAD 1 RESUBMITTAL

DRAWN BY: X  
 CHECKED BY: XX  
 ARCH. PROJECT NO.: P4E-AV  
 SHEET NAME: EXTERIOR KEYNOTE ELEVATIONS  
 SHEET NUMBER: A4.30

SITE PLAN REVIEW