

# PROPOSED 3 STORY OFFICE / RETAIL & 6 STORY PARKING STRUCTURE AT BISCAYNE OFFICE COMPLEX

15801 BISCAYNE BOULEVARD,  
NORTH MIAMI BEACH, FLORIDA 33160

DTI PROJECT # : 21007.01

**DTI**  
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08-05-2021  
Carlos Pizarro, R.A.  
AR - 0013079

Revisions:

|          |               |
|----------|---------------|
| 10/29/21 | TRAD COMMENTS |
|          |               |
|          |               |
|          |               |
|          |               |

OWNER/DEVELOPER:  
**BISCAYNE 18  
DEVELOPMENT LLC**  
15801 BISCAYNE BOULEVARD SUITE 203  
NORTH MIAMI BEACH, FLORIDA 33160

PROJECT:  
**PROPOSED 3 STORY OFFICE /  
RETAIL BUILDING  
& 6 STORY PARKING STRUCTURE  
AT BISCAYNE OFFICE COMPLEX**  
15801 BISCAYNE BOULEVARD  
NORTH MIAMI BEACH, FLORIDA 33160

Job Number: 21007.01  
File Name:  
Issued Date:  
Drawn by: J.C.  
Checked by: C.P./C.C

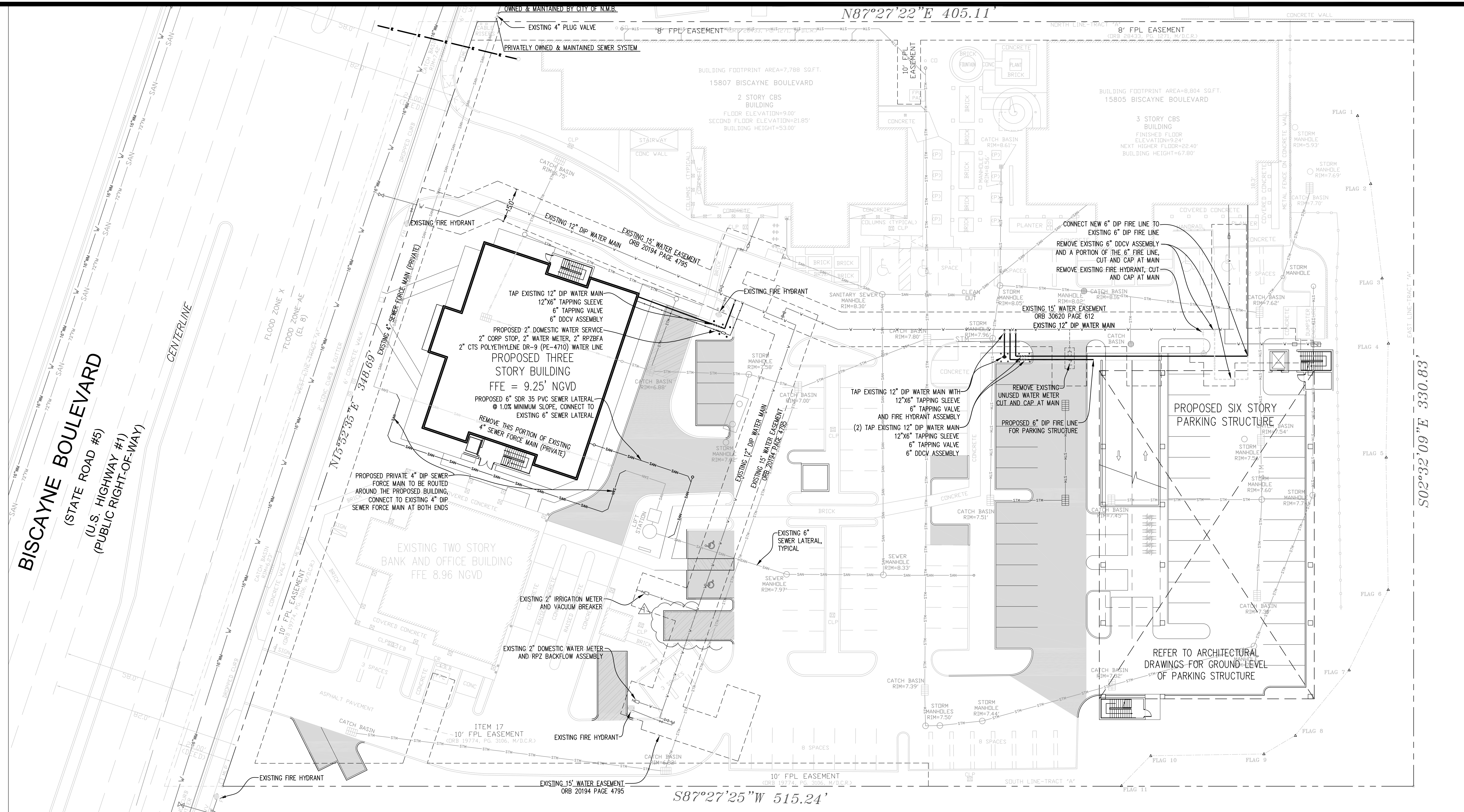
SHEET NAME  
**COVER  
SHEET**

SHEET NUMBER  
**A-0.0**



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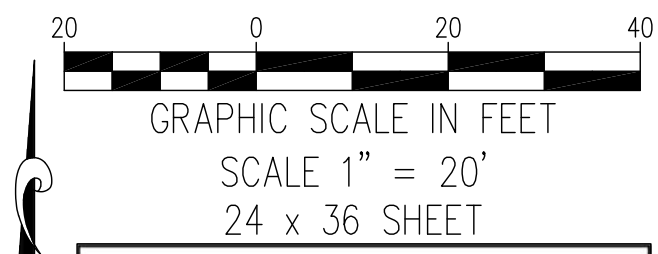


**BISCAYNE BOULEVARD**  
 (STATE ROAD #5)  
 (U.S. HIGHWAY #1)  
 (PUBLIC RIGHT-OF-WAY)

**SITE PLAN SUBMITTAL  
 SCHEMATIC ENGINEERING PLANS**

**SITE LEGEND**

| SYMBOL  | DESCRIPTION                      |
|---------|----------------------------------|
| — W —   | EXISTING WATER MAIN              |
| — W —   | PROPOSED WATER LINE              |
| — SAN — | EXISTING SEWER LATERAL           |
| — SAN — | PROPOSED SEWER LATERAL           |
| — STM — | EXISTING STORM                   |
| —       | PROPOSED ASPHALT<br>SEE PGD PLAN |



Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.  
 Check positive response codes before you dig!

**GRACE ENGINEERING**

CIVIL ENGINEERING CONSULTANTS

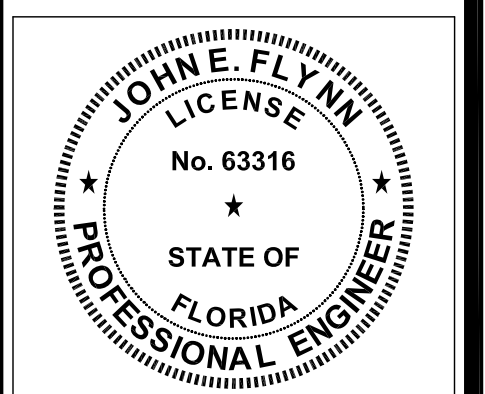
CERTIFICATE OF AUTHORIZATION  
 No. 29280

17110 SW 64TH COURT  
 SOUTHWEST RANCHES, FLORIDA 33331  
 GRACEENGINEERINGLLC@GMAIL.COM  
 954.558.9628

GRACE Project No: C2435  
 Plan Date: August 4, 2021

Revisions:  
 MAY 4, 2022  
 TRAD COMMENTS

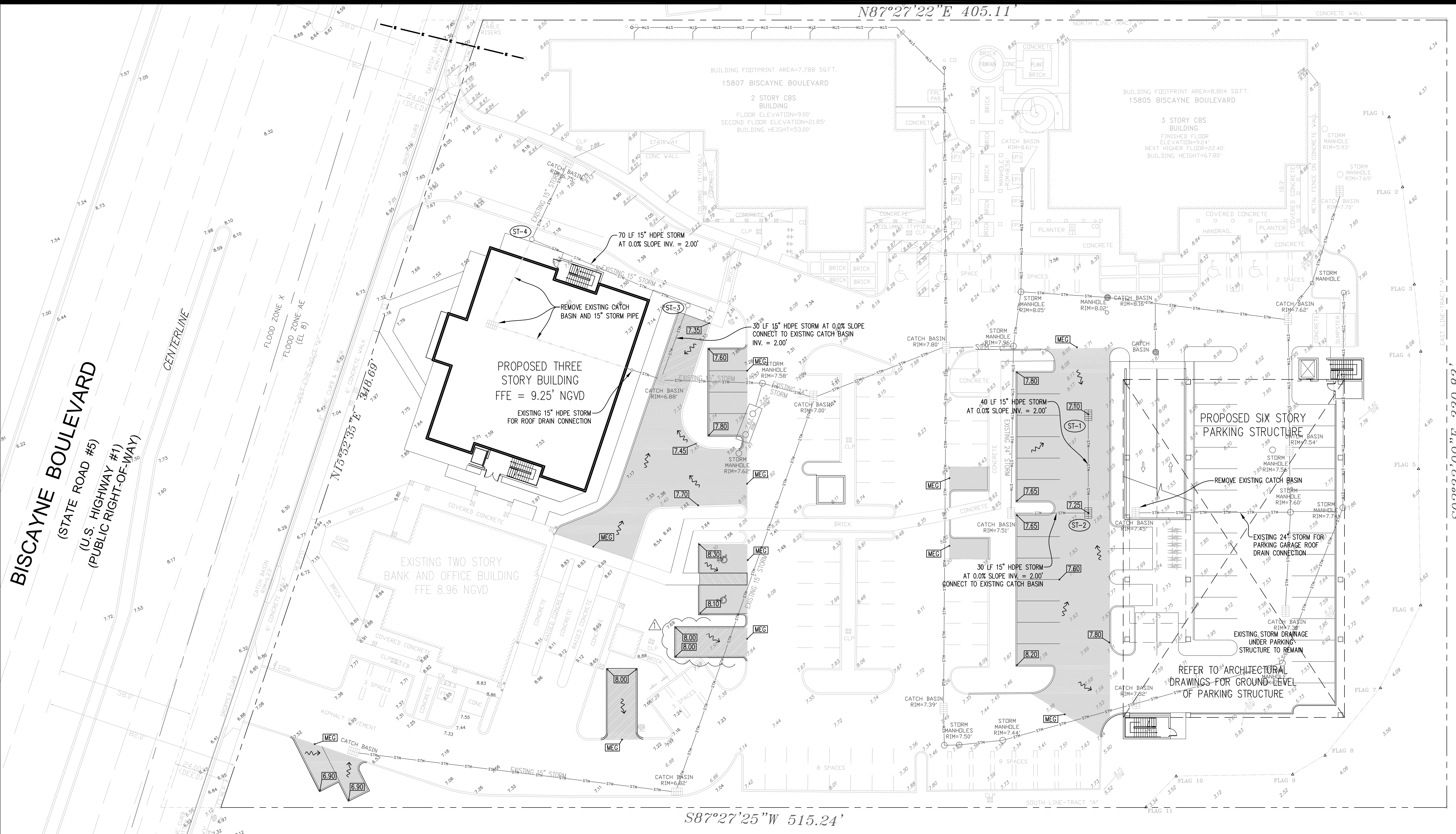
**PROJECT:**  
**Biscayne Complex**  
 15801 Biscayne Boulevard  
 NORTH MIAMI BEACH, FLORIDA



JOHN E. FLYNN, P.E.  
 Florida License No. 63316  
 GRACE ENGINEERING, LLC  
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SHEET NAME  
**WATER &  
 SEWER  
 PLAN**

SHEET NUMBER  
**C-100**



**PROPOSED DRAINAGE STRUCTURES**

| NUMBER | SIZE        | TYPE    | BOTTOM             | TOP                | ELEVATIONS |        | BAFFLES |
|--------|-------------|---------|--------------------|--------------------|------------|--------|---------|
|        |             |         | FDOT Index         | FDOT Index         | GRATE      | INVERT |         |
| ST-1   | 4.0' x 4.0' | INLET   | 425-010            | 425-052            | 7.10'      | 2.00'  | 1 (S)   |
| ST-2   | 4.0' x 4.0' | INLET   | 425-010            | 425-052            | 7.25'      | 2.00'  | 1 (W)   |
| ST-3   | 4.0' Dia.   | MANHOLE | 425-010            | 425-001            | 7.50'      | 2.00'  |         |
| ST-4   | 4.0' Dia.   | MANHOLE | "J" FDOT Index 200 | FDOT Index 425-001 | 8.00'      | 2.00'  |         |

- NOTES:**
- ALL NEW STORM DRAIN PIPE TO BE ADS N-12 HDPE.
  - CONTRACTOR TO RESET ALL MANHOLE COVERS, VALVE BOX COVERS, ACCESS HAND HOLE COVERS, INLET GRATES, ETC. WITHIN THE AREA OF WORK TO MATCH THE PROPOSED FINISHED GRADE.

**NEW ASPHALT PAVEMENT**

CONTRACTOR SHALL ADHERE TO THE GEOTECHNICAL REPORT FOR ALL SITE PREPARATION. REMOVE ALL EXISTING MATERIAL TO THE APPROPRIATE DEPTH. COMPACT AND IMPROVE THE EXISTING SUB-BASE MATERIAL AS REQUIRED TO PROVIDE 12" STABILIZED SUBGRADE.

SUBGRADE: 12" STABILIZED SUBGRADE MINIMUM LBR OF 40, COMPACTED TO 98% MAX DRY DENSITY (AASHTO D 1557).

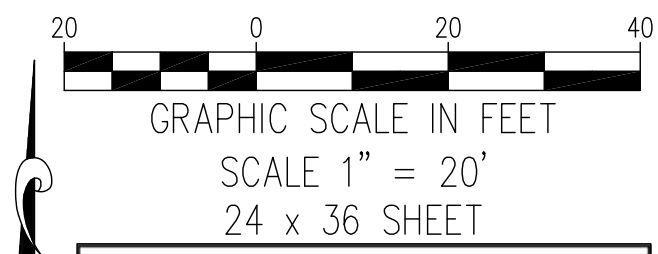
BASE COURSE: 8" LIMESTONE BASE, MINIMUM LBR OF 100, COMPACTED TO 98% MAX DRY DENSITY (AASHTO D 1557).

ASPHALT: 2.0" FLORIDA DEPARTMENT OF TRANSPORTATION TYPE SP-9.5 ASPHALTIC CONCRETE, TWO LIFTS

**SITE LEGEND**

- | SYMBOL  | DESCRIPTION            |
|---------|------------------------|
| ○       | PROPOSED STORM MANHOLE |
| ○       | EXISTING STORM MANHOLE |
| ▣       | PROPOSED CATCH BASIN   |
| ▣       | EXISTING CATCH BASIN   |
| MEG     | MATCH EXISTING GRADE   |
| 6.90    | PROPOSED SPOT GRADE    |
| 7.63    | EXISTING SPOT GRADE    |
| →       | FLOW DIRECTION         |
| ST-2    | STRUCTURE NUMBER       |
| — STM — | PROPOSED STORM PIPING  |
| — STM — | EXISTING STORM PIPING  |
- NOTE: ALL ELEVATIONS IN REFERENCE TO NGVD, 1929

**SITE PLAN SUBMITTAL SCHEMATIC ENGINEERING PLANS**



**Sunshine811**

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**GRACE ENGINEERING**

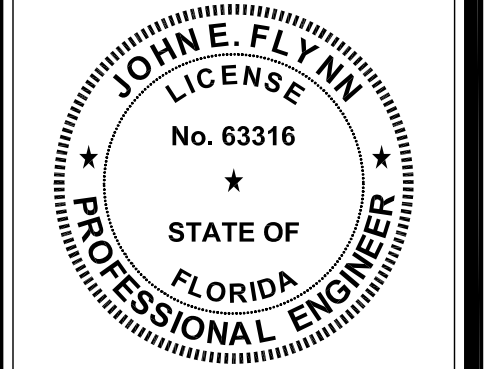
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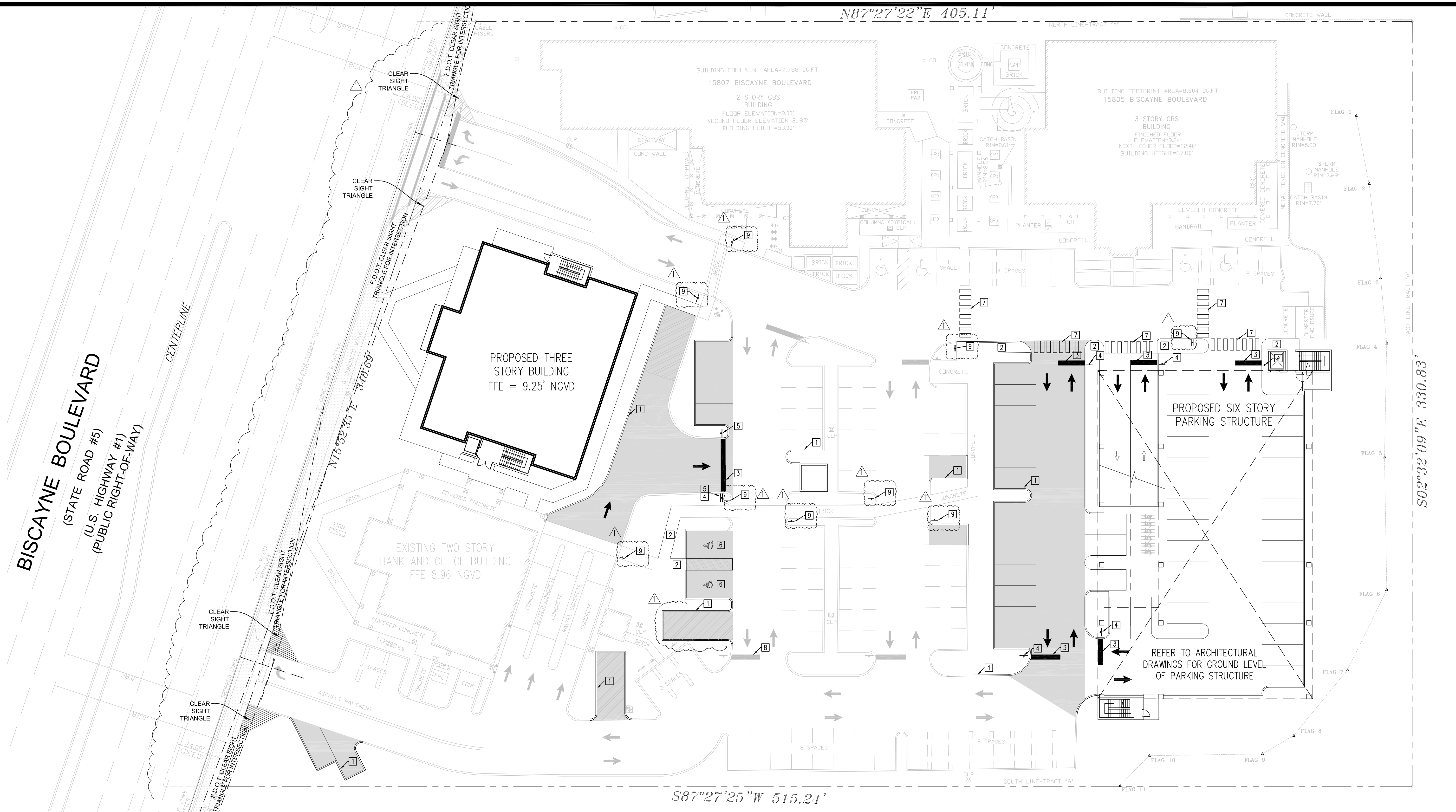
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SHEET NAME  
**PAVING, GRADING & DRAINAGE PLAN**

SHEET NUMBER  
**C-200**



**SAFETY NOTES**

1. THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS FOR CONSTRUCTION SITE SAFETY.
2. DURING THE CONSTRUCTION OR MAINTENANCE OF THIS PROJECT, ALL SAFETY REGULATIONS ARE TO BE ENFORCED BY THE CONTRACTOR. THE CONTRACTOR OR HIS REPRESENTATIVE SHALL BE RESPONSIBLE FOR THE CONTROL AND SAFETY OF THE TRAVELING PUBLIC AND THE SAFETY OF HIS PERSONNEL. LABOR SAFETY REGULATIONS SHALL CONFORM TO THE PROVISIONS SET FORTH BY OSHA IN THE FEDERAL REGISTER OF THE DEPARTMENT OF TRANSPORTATION.
3. THE MINIMUM STANDARDS AS SET FORTH IN THE CURRENT EDITION OF THE STATE OF FLORIDA MANUAL ON TRAFFIC CONTROL AND SAFE PRACTICES FOR STREET AND HIGHWAY CONSTRUCTION SHALL BE FOLLOWED IN THE INSTALLATION, MAINTENANCE, AND REMOVAL OF ALL TRAFFIC CONTROL DEVICES, WARNING DEVICES, AND BARRIERS NECESSARY TO PROTECT THE PUBLIC AND WORKMEN FROM HAZARDS WITHIN THE PROJECT LIMITS.
4. ALL TRAFFIC CONTROL MARKINGS AND DEVICES SHALL CONFORM TO THE PROVISIONS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES PREPARED BY THE U.S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION.
5. LABOR SAFETY REGULATIONS SHALL CONFORM TO THE PROVISIONS SET FORTH BY OSHA IN THE FEDERAL REGISTER OF THE DEPARTMENT OF TRANSPORTATION.
6. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY AND ENFORCE ALL APPLICABLE SAFETY REGULATIONS. THE ABOVE INFORMATION HAS BEEN PROVIDED FOR THE CONTRACTOR'S INFORMATION ONLY AND DOES NOT IMPLY THAT THE OWNER OR THE ENGINEER WILL INSPECT AND/OR ENFORCE SAFETY REGULATIONS.

**GENERAL NOTES**

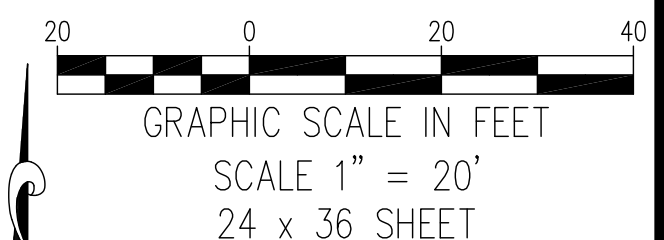
1. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF NORTH MIAMI BEACH AND MIAMI-DADE COUNTY STANDARDS AND SPECIFICATIONS, LATEST EDITION.
2. LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES, AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES AFFECTING THIS WORK PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR SHALL CHECK THE PLANS FOR CONFLICTS AND DISCREPANCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE OWNER'S ENGINEER OF ANY CONFLICTS OR DISCREPANCIES BEFORE PERFORMING ANY WORK IN THE AFFECTED AREA.
4. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN AREAS OF BURIED UTILITIES, AND SHALL PROVIDE AT LEAST 48 HOURS NOTICE TO THE VARIOUS UTILITY COMPANIES, IN ORDER TO PERMIT MARKING THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES, IN ADVANCE OF CONSTRUCTION, BY CALLING "SUNSHINE" AT 1-800-432-4770. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITIES NOT INCLUDED IN THE "SUNSHINE" PROGRAM.

**KEYNOTES**

- 1 NEW TYPE "D" CURB, TYPICAL. SAWCUT EXISTING ASPHALT WHERE REQUIRED, CONTRACTOR TO RESTORE ALL DISTURBED ASPHALT AND CONCRETE TO MATCH EXISTING
- 2 PROPOSED ACCESSIBLE ROUTE, MAXIMUM 1:48 CROSS SLOPE, 1:20 RUNNING SLOPE
- 3 24" WHITE THERMOPLASTIC STOP BAR WITH THERMOPLASTIC DIRECTIONAL ARROWS, TYPICAL EACH STOP CONDITION
- 4 NEW STOP SIGN R1-1, TYPICAL EACH STOP CONDITION
- 5 NEW DO NOT ENTER SIGN R5-1
- 6 STRIPE ACCESSIBLE PARKING SPACE AS SHOWN, NEW SIGN AND WHEEL STOP TYPICAL
- 7 CROSSWALK STRIPE 24" WHITE THERMOPLASTIC AT 4' ON CENTER
- 8 EXISTING PAVEMENT MARKINGS TO REMAIN, TYPICAL
- 9 PEDESTRIAN CROSSING SIGN W11-2 WITH W16-7P DIAGONAL ARROW PER MUTCD

**SITE PLAN SUBMITTAL SCHEMATIC ENGINEERING PLANS**

PROPOSED ASPHALT  
SEE PGD PLAN



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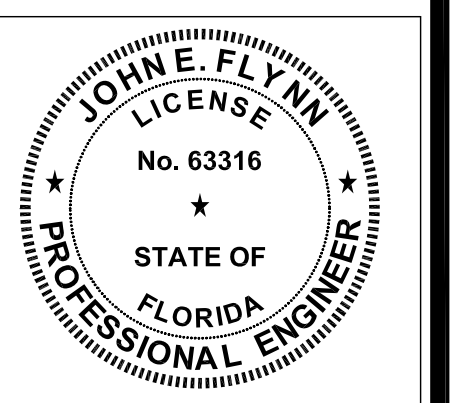
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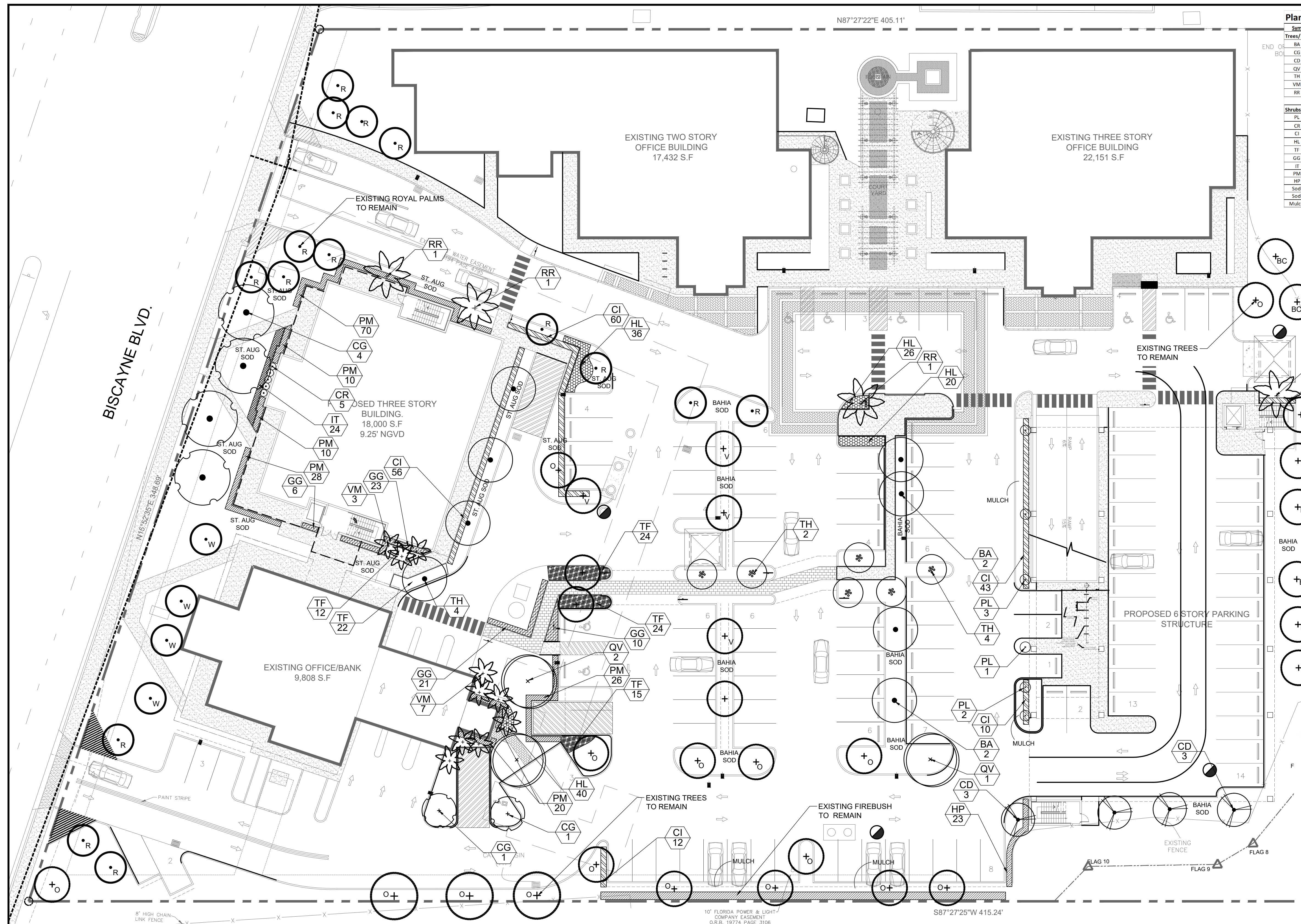
PROJECT:  
**Biscayne Complex**  
15801 Biscayne Boulevard  
NORTH MIAMI BEACH  
FLORIDA



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Florida License No. 63316  
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SHEET NAME  
**PAVEMENT MARKINGS & SIGNAGE PLAN**

SHEET NUMBER  
**C-300**



### Plant List

| Trees/Palms | Sym | Qty                    | Botanical Name  | Common Name                              | Size | Native   | Water Use Zone |
|-------------|-----|------------------------|-----------------|--|------|----------|----------------|
| BA          | 4   | Bulnesia arborea       | Norwood         | 18' Ht x 8'-10" Spr, 5" dbh, Field Grown | No   | Low      |                |
| CG          | 6   | Caesalpinia grandillo  | Bridalveil      | 18' Ht x 8'-10" Spr, 5" dbh, Field Grown | No   | Low      |                |
| CD          | 4   | Coccoloba diversifolia | Pigeon Plum     | 18' Ht x 8'-10" Spr, 5" dbh, Field Grown | Yes  | Low      |                |
| QV          | 3   | Quercus virginiana     | Live Oak        | 18' Ht x 8'-10" Spr, 5" dbh, Field Grown | Yes  | Low      |                |
| TH          | 10  | Tabebuia heterophylla  | Pink Tabebuia   | 18' Ht x 8'-10" Spr, 5" dbh, Field Grown | No   | Low      |                |
| VM          | 10  | Ventchia montgomeryana | Montgomery Palm | 10' GW, 25' OA Ht, Field Grown           | No   | Low      |                |
| RR          | 4   | Roystonea regia        | Royal Palm      | 10' GW min, 25' OA Ht min, Field Grown   | Yes  | Moderate |                |

| Shrubs/Groundcovers | Sym  | Qty                          | Botanical Name                   | Common Name         | Size | Native   | Water Use Zone |
|---------------------|------|------------------------------|----------------------------------|---------------------|------|----------|----------------|
| PL                  | 6    | Polyalthia longifolia        | Mast Tree                        | 6' Ht, full to base | No   | Moderate |                |
| CR                  | 5    | Crinum augustum 'Queen Emma' | Crinum Lily                      | 30" x 30"           | No   | Moderate |                |
| CI                  | 191  | Chrysothamnus toxicus        | Coccoloba                        | 24" x 24" 18" O.C.  | Yes  | Moderate |                |
| HL                  | 122  | Hymenocallis latifolia       | Spider Lily                      | 24" x 18" 18" O.C.  | Yes  | Low      |                |
| TF                  | 97   | Tripacum floridana           | Florida Gamma Grass              | 24" x 16" 18" O.C.  | Yes  | Low      |                |
| GG                  | 60   | Galphimia gracilis           | Thryallis                        | 24" x 20" 18" O.C.  | No   | Moderate |                |
| IT                  | 24   | Isora 'Petite'               | Red Taiwan Dwarf Isora           | 24" x 12" 18" O.C.  | No   | Moderate |                |
| PM                  | 104  | Podocarpus macrophyllus      | Podocarpus                       | 24" x 24" 18" O.C.  | No   | Moderate |                |
| HP                  | 23   | Hamelia patens 'Compacta'    | Dwarf Firebush                   | 24" x 20" 18" O.C.  | Yes  | Low      |                |
| Sod                 | 4600 | St. Augustine                | St. Augustine                    |                     | No   | High     |                |
| Sod                 |      | Argentine Bahia              | Argentine Bahia                  |                     | No   | Low      |                |
| Mulch               |      |                              | Shredded Melaleuca or Eucalyptus |                     |      |          |                |

### Landscape Code Requirements

| Description            | Application                | Calculation            | Qty. Required | Qty. Provided      |
|------------------------|----------------------------|------------------------|---------------|--------------------|
| Right of Way Perimeter | 1 tree/ 25 LF              | 348.69/ 25'            | 14            | 17                 |
| East Perimeter         | 1 tree/ 30 LF              | 225/ 30'               | 8             | 8                  |
| South Perimeter        | 1 tree/ 30 LF              | 320.6/ 30'             | 11            | 11                 |
| Parking Islands        |                            |                        |               |                    |
| Terminal Islands       |                            |                        | 14            | 14                 |
| Interior Islands       |                            |                        | 5             | 5                  |
| Parking Medians        | 1 tree/ 25 LF              | 54' x 54' + 125' / 25' | 9             | 9                  |
| Total Trees            |                            |                        | 52            | 52                 |
| Maximum Palms Allowed  | 25% of required site trees | 25% of 52 =            | 13            | 14 = 4 trees (3:1) |
| Foliage trees          | 75% of required site trees | 75% of 52 =            | 39            | 27+ 21 existing    |

### Landscape Code Requirements

| Water Use Zone          | Percent of Total Landscaped Area | Plant and Turf Description |
|-------------------------|----------------------------------|----------------------------|
| High Water Use Zone     | 30%                              | See plant list             |
| Moderate Water Use Zone | 20%                              | See plant list             |
| Low Water Use Zone      | 50%                              | See plant list             |

- ### General Notes:
- All plant material shall be Florida No. 1 or better as given in the current Florida Grades and Standards for Nursery Plants, 2015, Florida Department of Agriculture and Consumer Services.
  - All plant materials shall be subject to inspection and approval by the Landscape Architect at place of growth and upon delivery for conformity to specification.
  - All plants shall be true to species and variety and shall conform to measurements specified. All substitutions shall be submitted to the City and Landscape Architect for final approval.
  - All plants shall be exceptionally heavy, symmetrical, tight knit and so trained in appearance as to be superior to form, branching and symmetry.
  - Contractor shall notify Sunshine 811 (call 811) for locations of existing utility lines 48 hours prior to beginning work. Contractor shall verify location of all utility lines and easements prior to commencing any work. Excavation in the vicinity of underground utilities shall be undertaken with care and by hand, if necessary. The Contractor bears full responsibility for this work and disruption or damage to utilities shall be repaired immediately at no expense to Owner.
  - Grade B+, shredded sterilized Melaleuca or Eucalyptus mulch shall be used in all mass planting beds and for individual tree pits. All trees shall have a mulch ring with a depth of 3" and a diameter of 3'-4' around their base. All mulch shall be kept 4" from base of all plant material. Mulch beds shall be a minimum of 12' wider than plants measured from outside edge of foliage.
  - Sod shall be St Augustine around building around front of site and Bahia at parking areas and rear of site. Sod shall be free of weeds, insects, fungus and disease, laid with alternating and abutting joints.
  - All trees and shrubs shall be backfilled with a suitable planting soil consisting of 50 percent sand and 40 percent muck and 10% humus or peat by volume, well mixed and a fertilizer added. All plant materials shall be planted with a minimum of 6 to 18 inches of planting soil around the root ball. Refer to planting details. Planting soil to be backfilled into plant pits by washing in. Planting beds shall be free from road, pea egg or colored rock, building materials, debris, weeds, noxious pests and disease.
  - All sodded areas to have a minimum of 2" of planting soil as described in note #8.
  - All trees shall be warranted by the Contractor and will be healthy and in flourishing condition of active growth one year from date of final acceptance.
  - All shrubs, groundcovers, vines and sod shall be fully warranted for one year under same condition as above.
  - All synthetic burlap, synthetic string or cords or wire baskets shall be removed before any trees are planted. All synthetic tape shall be removed from trunks, branches, etc before inspection. The top 1/3 of any natural burlap shall be removed or tucked into the planting hole before trees are backfilled. Planting soil to be backfilled into pits by washing in.
  - All trees and palms shall be planted with the top of their rootballs 1'-2" above finished grade. All other plants shall be planted with top of their rootballs no deeper than the final grade surrounding the planting area.
  - In areas where paved surfaces abut sod or mulch, the final level of both surfaces should be even.
  - All planting shall be installed in a sound, workmanlike manner and according to good planting procedures. Installation shall include watering, weeding, fertilizing, mulching, selective pruning and removal of refuse and debris on a regular basis so as to present a neat and well kept appearance at all times.
  - All landscape and sod areas shall have an automatic irrigation system installed. Coverage shall be 100% with 50% minimum overlap using just free water to all landscape and sod areas. Spray upon public sidewalks, streets and adjacent properties should be minimized. Sodded areas and shrub/groundcover beds should be on separate irrigation zones for a more efficient system. Irrigation system shall be installed with a rainswitch device.
  - All landscape and irrigation shall be installed in compliance with all local codes.
  - The plan shall take precedence over the plant list, should there be any discrepancy between the two.

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 Landscape Architect  
 (954) 592-3695  
 Lic. No. #LA000952

### Revisions:

|   |                |          |
|---|----------------|----------|
| 1 | Planting Rev.  | 11-05-21 |
| 2 | Planting Rev.  | 03-23-22 |
| 3 | Site Plan Rev. | 05-05-22 |

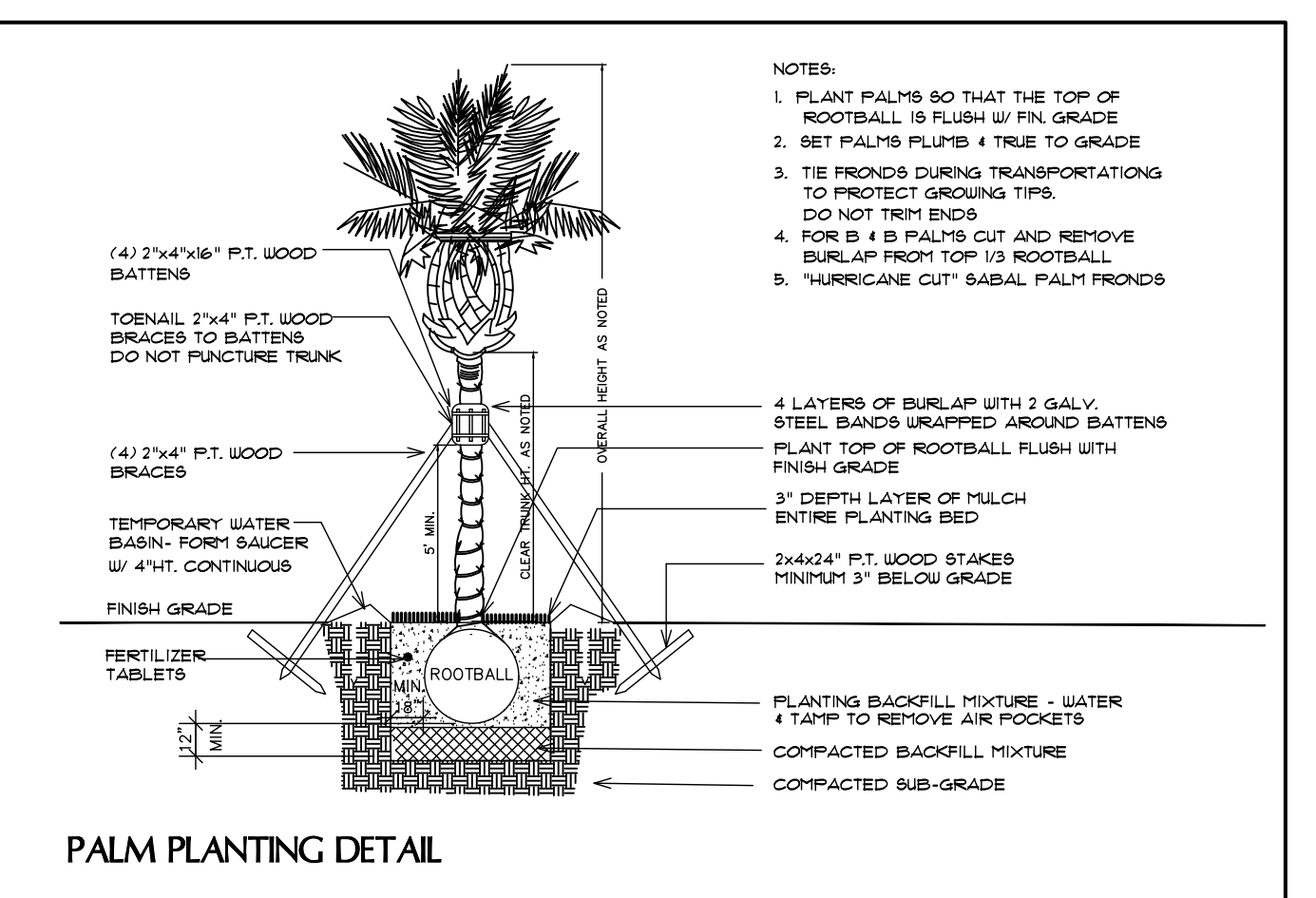
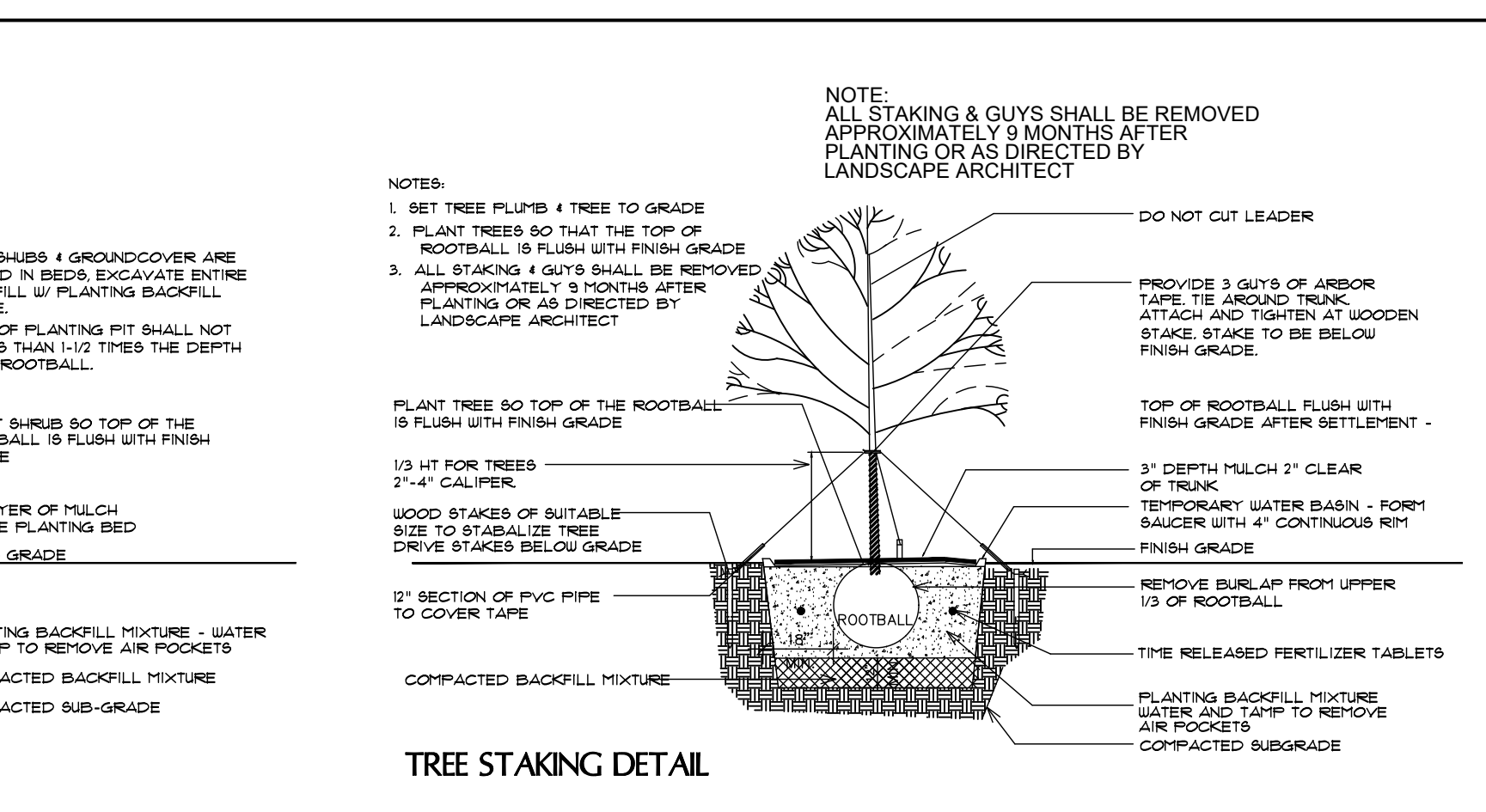
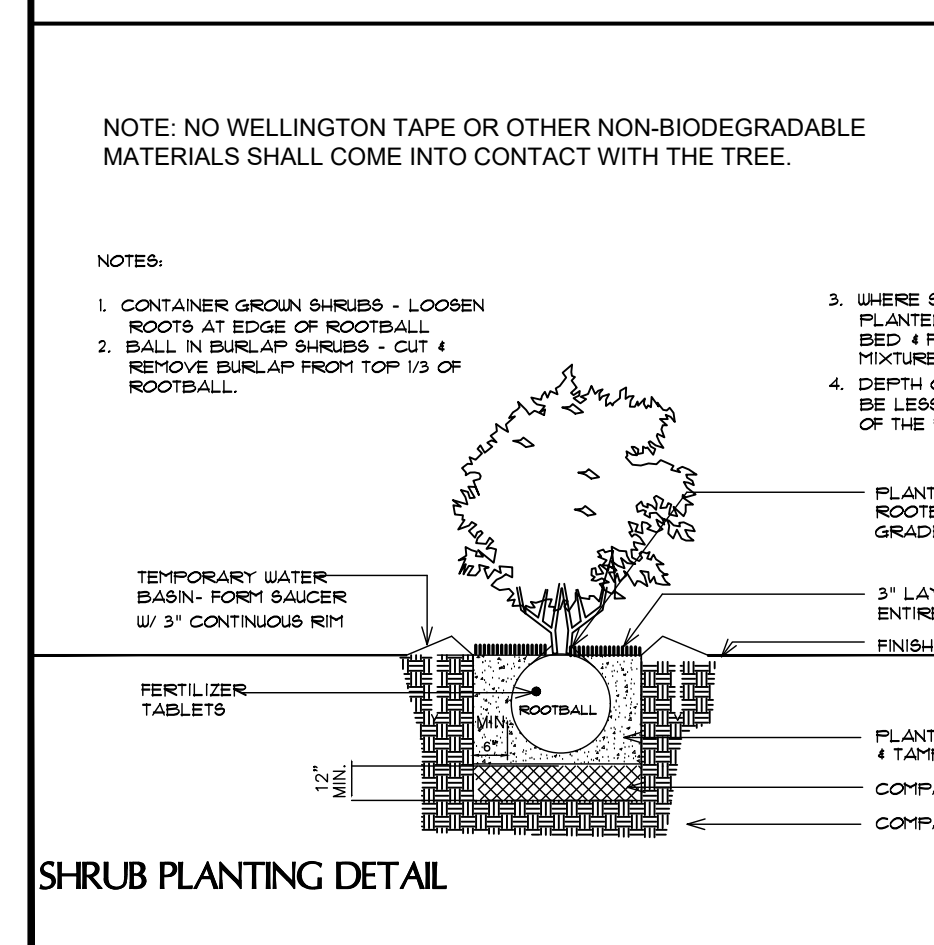
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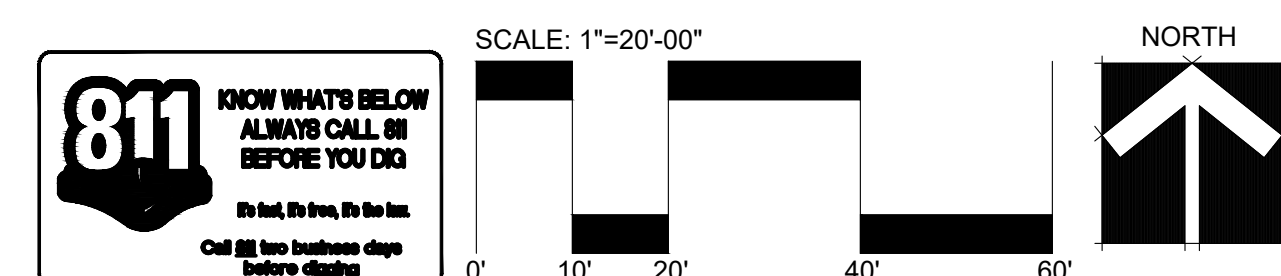
SHEET NAME  
**LANDSCAPE PLAN**

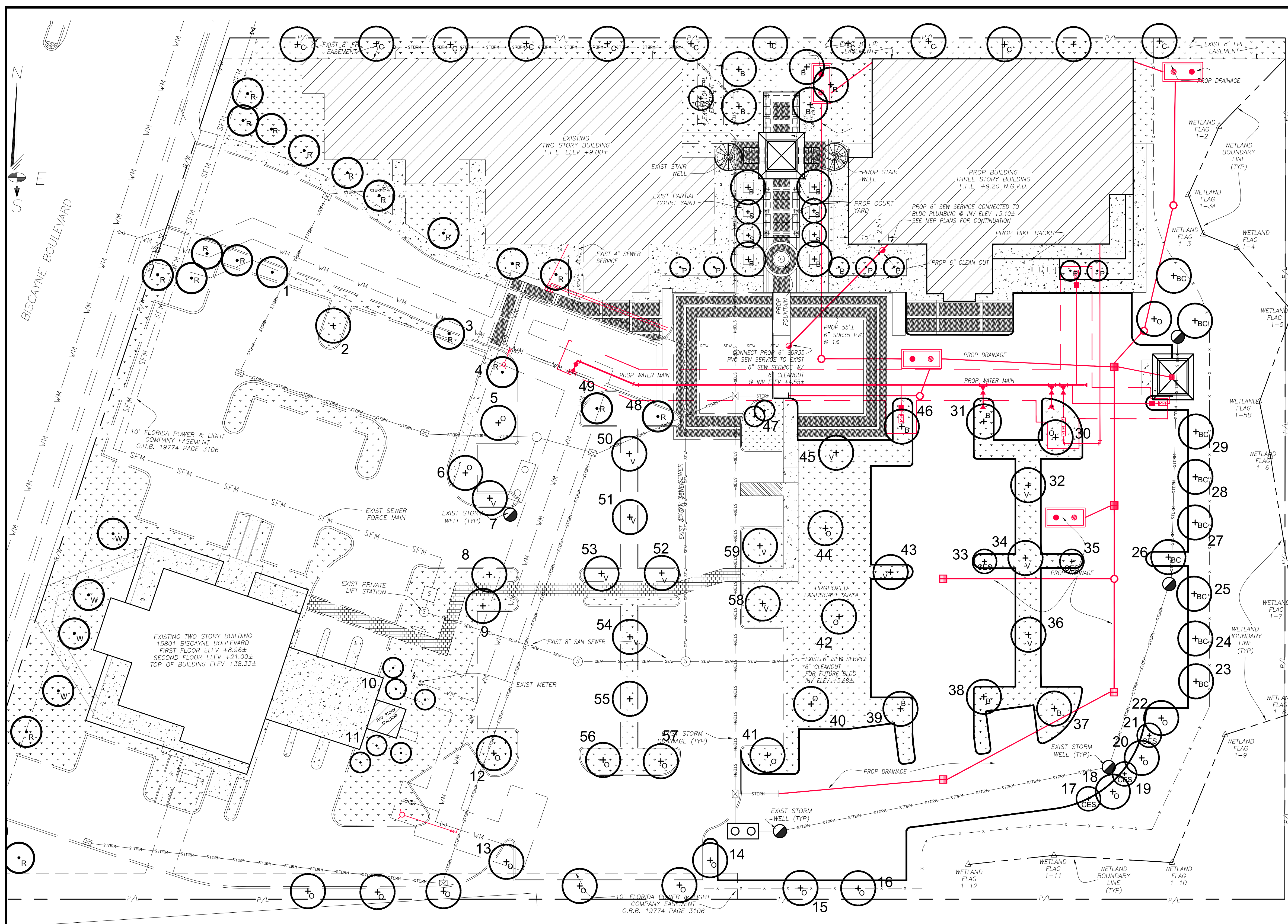
SHEET NUMBER  
**L-1**



### LEGEND

|       |                          |
|-------|--------------------------|
| (+W)  | EXISTING WASHINGTON PALM |
| (+O)  | EXISTING OAK             |
| (+R)  | EXISTING ROYAL PALM      |
| (+BC) | EXISTING BALD CYPRESS    |
| (+V)  | EXISTING VERAWOOD        |
| (+)   | PROPOSED LIGHT POLE      |





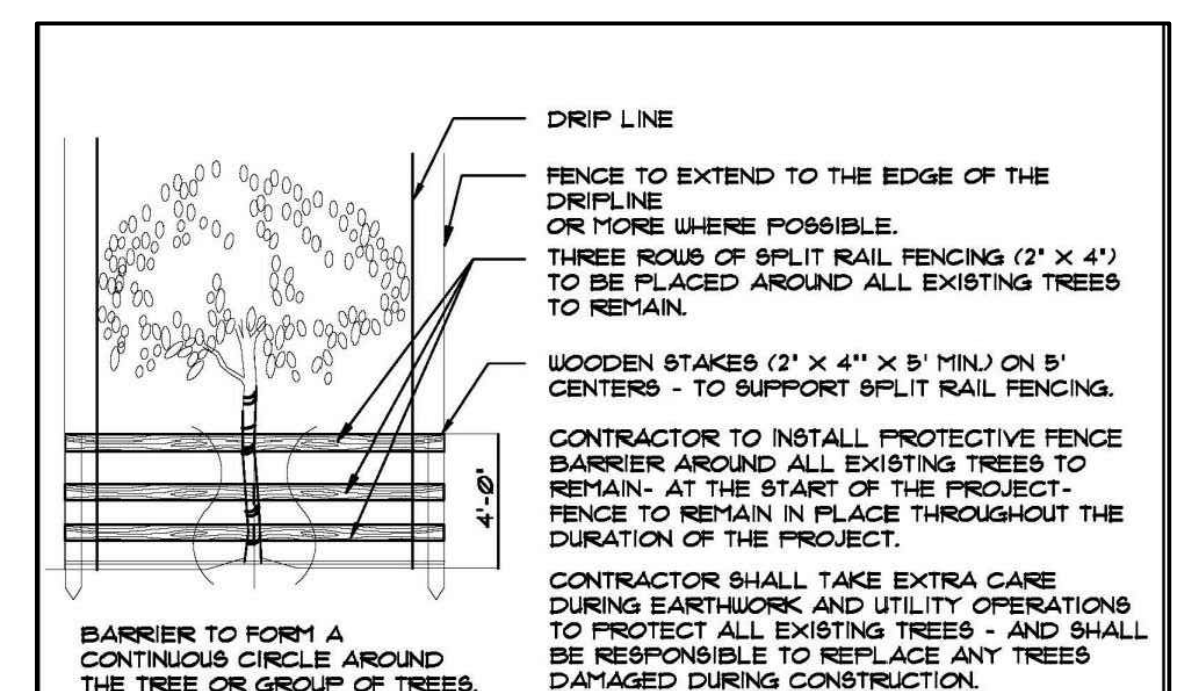
**EXISTING TREES OUTSIDE LIMITS OF WORK**

| Tree # | Common Name       | Botanical Name    | DBH (Inches) | Height (feet) | Spread (feet) | Disposition | Canopy SF | Mitigation |
|--------|-------------------|-------------------|--------------|---------------|---------------|-------------|-----------|------------|
| R      | Royal Palm        | Royal Palm        | 18"          | 20'           | 20'           | Remove      | 314       | 0          |
| W      | Wetland           | Wetland           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| S      | Silver Buttonwood | Silver Buttonwood | 4'           | 18'           | 12'           | Remove      | 76        | 0          |
| B      | Bald Cypress      | Bald Cypress      | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| R      | Royal Palm        | Royal Palm        | 18"          | 20'           | 20'           | Remove      | 314       | 0          |
| S      | Silver Buttonwood | Silver Buttonwood | 4'           | 18'           | 12'           | Remove      | 76        | 0          |
| W      | Wetland           | Wetland           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| B      | Bald Cypress      | Bald Cypress      | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| O      | Live Oak          | Live Oak          | 5'           | 20'           | 12'           | Remove      | 113       | 0          |

**EXISTING TREES WITHIN LIMITS OF WORK**

| Tree # | Common Name        | Botanical Name     | DBH (Inches) | Height (feet) | Spread (feet) | Disposition | Canopy SF | Mitigation |
|--------|--------------------|--------------------|--------------|---------------|---------------|-------------|-----------|------------|
| 1      | Royal Palm         | Royal Palm         | 18"          | 20'           | 20'           | Remove      | 314       | 0          |
| 2      | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 3      | Royal Palm         | Royal Palm         | 18"          | 20'           | 20'           | Remove      | 314       | 0          |
| 4      | Royal Palm         | Royal Palm         | 18"          | 20'           | 20'           | Remove      | 314       | 0          |
| 5      | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 6      | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 7      | Wetland            | Wetland            | 4'           | 18'           | 12'           | Remove      | 76        | 0          |
| 8      | Wetland            | Wetland            | 4'           | 18'           | 12'           | Remove      | 76        | 0          |
| 9      | Wetland            | Wetland            | 4'           | 18'           | 12'           | Remove      | 76        | 0          |
| 10     | (3) Saltwater Palm | Psychotria elegans |              |               | 8'            | Remove      | 150       | 0          |
| 11     | (3) Saltwater Palm | Psychotria elegans |              |               | 8'            | Remove      | 150       | 0          |
| 12     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 13     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 14     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 15     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 16     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 17     | Silver Buttonwood  | Silver Buttonwood  | 4'           | 18'           | 12'           | Remove      | 76        | 0          |
| 18     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 19     | Silver Buttonwood  | Silver Buttonwood  | 4'           | 18'           | 12'           | Remove      | 76        | 0          |
| 20     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 21     | Silver Buttonwood  | Silver Buttonwood  | 4'           | 18'           | 12'           | Remove      | 76        | 0          |
| 22     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 23     | Bald Cypress       | Bald Cypress       | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 24     | Bald Cypress       | Bald Cypress       | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 25     | Bald Cypress       | Bald Cypress       | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 26     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 27     | Bald Cypress       | Bald Cypress       | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 28     | Bald Cypress       | Bald Cypress       | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 29     | Bald Cypress       | Bald Cypress       | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 30     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 31     | Bald Cypress       | Bald Cypress       | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 32     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 33     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 34     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 35     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 36     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 37     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 38     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 39     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 40     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 41     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 42     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 43     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 44     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 45     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 46     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 47     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 48     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 49     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 50     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 51     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 52     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 53     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 54     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 55     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 56     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 57     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 58     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 59     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 60     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 61     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 62     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 63     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 64     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 65     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 66     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 67     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 68     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 69     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 70     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 71     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 72     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 73     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 74     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 75     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 76     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 77     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 78     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 79     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |
| 80     | Live Oak           | Live Oak           | 5'           | 20'           | 12'           | Remove      | 113       | 0          |

Square feet canopy removed 3748  
 Square feet canopy replaced 8900



**NOTES:**  
 A TREE REMOVAL PERMIT IS REQUIRED BY THE CITY PRIOR TO THE REMOVAL OF ANY TREES ON SITE.

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Revisions:  
 2 Planting Rev. 03-23-2

**BISCAYNE 18 DEVELOPMENT LLC**  
 15801 BISCAYNE BOULEVARD SUITE 203  
 NORTH MIAMI BEACH, FLORIDA 33160

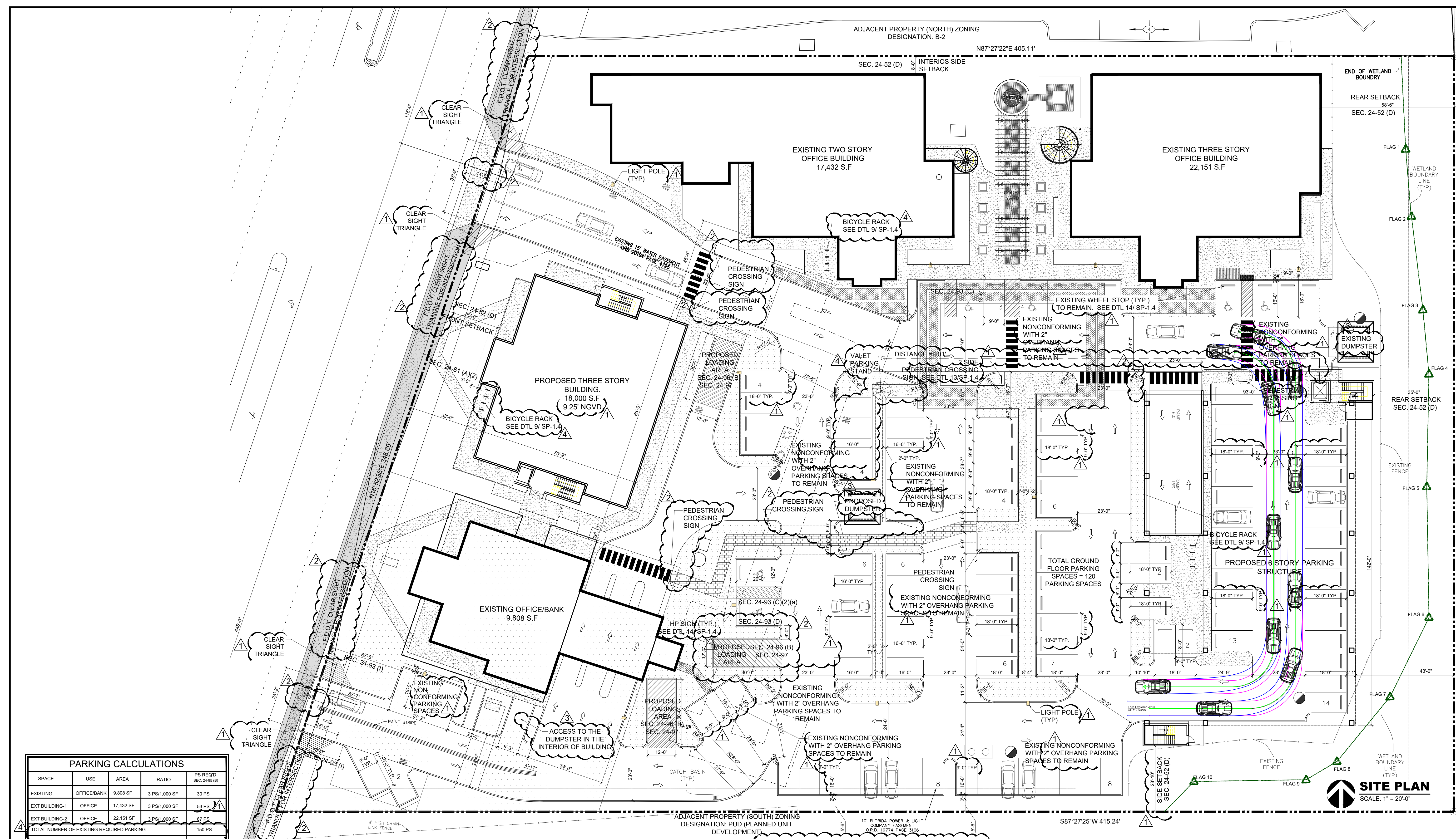
**PROPOSED 3 STORY OFFICE / RETAIL BUILDING & 6 STORY PARKING STRUCTURE AT BISCAYNE OFFICE COMPLEX**  
 15801 BISCAYNE BOULEVARD  
 NORTH MIAMI BEACH, FLORIDA 33160

Job Number: 21007.01  
 File Name:  
 Issued Date: 8-4-2021  
 Drawn by: K.M.  
 Checked by: K.M.

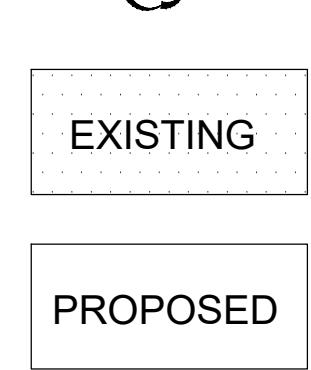
**SHEET NAME**  
 TREE DISPOSITION PLAN

**SHEET NUMBER**  
 TD-1

**811 KNOW WHAT'S BELOW ALWAYS CALL BEFORE YOU DIG**  
 SCALE: 1"=20'-00"  
 NORTH



| PARKING CALCULATIONS   |             |           |                |                           |
|--|-------------|-----------|----------------|---------------------------|
| SPACE  | USE         | AREA      | RATIO          | PS REQ'D (SEC. 24-95 (b)) |
| EXISTING   | OFFICE/BANK | 9,808 SF  | 3 PS/1,000 SF  | 30 PS                     |
| EXT BUILDING-1   | OFFICE      | 17,432 SF | 3 PS/1,000 SF  | 53 PS                     |
| EXT BUILDING-2   | OFFICE      | 22,151 SF | 3 PS/1,000 SF  | 67 PS                     |
| TOTAL NUMBER OF EXISTING REQUIRED PARKING  |             |           |                | 150 PS                    |
| TOTAL EXISTING PARKING PROVIDED  |             |           |                | 150 PS                    |
| PROPOSED RESTAURANT/RETAIL/OFFICE BUILDING (REQUIRED)                              |             |           |                |                           |
| PROPOSED   | RESTAURANT  | 1,500 SF  | 15 PS/1,000 SF | 23 PS                     |
| PROPOSED   | RETAIL      | 4,500 SF  | 5 PS/1,000 SF  | 23 PS                     |
| PROPOSED   | OFFICE      | 12,000 SF | 3 PS/1,000 SF  | 36 PS                     |
| TOTAL NUMBER OF PROPOSED REQUIRED PARKING  |             |           |                | 82 PS                     |
| TOTAL PARKING REQUIRED (INCLUDED 7 HANDICAP SPACES)                                |             |           |                | 232 PS                    |
| TOTAL SITE IN GROUND LEVEL PARKING   |             |           |                | 122 PS                    |
| TOTAL 2nd LEVEL PARKING  |             |           |                | 24 PS                     |
| TOTAL 3rd LEVEL PARKING  |             |           |                | 24 PS                     |
| TOTAL 4th LEVEL PARKING  |             |           |                | 24 PS                     |
| TOTAL 5th LEVEL PARKING  |             |           |                | 24 PS                     |
| TOTAL 6th LEVEL PARKING WITH 6 TANDEM  |             |           |                | 30 PS                     |
| TOTAL PARKING PROVIDED (INCLUDED 7 HANDICAP SPACES & 6 TANDEM PARKING SPACES)      |             |           |                | 248 PS                    |
| OFF-STREET LOADING (SEC. 24-97) OFFICES 20,000 - 100,000 S.F. = 2 SPACES REQUIRED. |             |           |                | 2 PS                      |
| OFF-STREET LOADING PROVIDED  |             |           |                | 3 PS                      |



| TABLE IX-2 PARKING LOT DIMENSIONS |                                 |                       |                          |               |                |                        |
|-----------------------------------|---------------------------------|-----------------------|--------------------------|---------------|----------------|------------------------|
|                                   | STALL WIDTH PARALLEL TO AISLE A | STALL DEPTH TO WALL B | STALL DEPTH TO INTERLOCK | STALL WIDTH C | WALL TO WALL D | INTERLOCK TO INTERLOCK |
| 45 DEGREE 9 STALL                 | 12.7                            | 16.5                  | 14.5                     | 15.0          | 48.0           | 44.0                   |
| 60 DEGREE 9 STALL                 | 10.4                            | 18.0                  | 16.5                     | 16.0          | 52.0           | 51.0                   |
| 75 DEGREE 9 STALL                 | 9.3                             | 18.5                  | 17.5                     | 20.0          | 57.0           | 57.0                   |
| 90 DEGREE 9 STALL                 | 9.0                             | 18.0                  | 18.0                     | 23.0          | 59.0           | 59.0                   |

| BICYCLE SPACE CALCULATIONS |                               |               |               |
|----------------------------|-------------------------------|---------------|---------------|
| SPACE                      | USE                           | RATIO         | PS REQ'D      |
| LOT                        | OFFICE/BANK/RETAIL/RESTAURANT | 101 TO 500 PS | 12 BICYCLE PS |
| TOTAL PROVIDED             |                               |               | 24 BICYCLE PS |

| SITE DEVELOPMENT STANDARD               |  |  |
|---|--|--|
| DISTRICT: B-2 GENERAL BUSINESS DISTRICT |  |  |
| TOTAL SITE AREA: 152,339 SF             |  |  |
| WORK AREA: 128,637.9 SF                 |  |  |
| SETBACK                                 | REQUIRED/PERMITTED (SEC. 24-52 (D))      | PROVIDED                                 |
| FRONT SETBACK                           | 25'-0"                                   | 25'-0"                                   |
| REAR SETBACK                            | 20'-0" (6 STORIES)<br>35'-0" (8 STORIES) | 25'-0" (8 STORIES)                       |
| INTERIOR SIDE SETBACK                   | 0'-0" (6 STORIES)<br>15'-0" (8 STORIES)  | 8'-0" (6 STORIES)<br>28'-10" (8 STORIES) |
| BUILDING HEIGHT                         | 15 STORIES OR 150'-0"                    | 3 STORIES/56'-4"<br>6 STORIES/72'-4"     |
| FLOOR AREA                              | 1,000 SF / BLDG. MIN.                    | 149,231 SF                               |
| PERVIOUS AREA                           | 20% MIN (30,467.88 SF)                   | 44,997 SF (29.53%)                       |
| LANDSCAPE AREA                          |  | 44,997 SF (29.53%)                       |
| COVERAGE AREA                           |  | 60,444.5 SF (28.5%)                      |
| PAVED AREA                              |  | 63,504 SF (41.38%)                       |
| OPEN SPACE                              |  | 44,997 SF (29.53%)                       |
| LOT WIDTH                               | 100 FEET (MIN. REQUIRED)                 | 330'-10" (PROVIDED)                      |

| SHARE PARKING CREDIT                           |                            |                       |                            |                       |
|--|----------------------------|-----------------------|----------------------------|-----------------------|
| LAND USE                                       | WEEKDAY                    |                       | WEEKEND                    |                       |
|  | 12:00 Midnight - 6:00 a.m. | 9:00 a.m. - 4:00 p.m. | 12:00 Midnight - 6:00 p.m. | 9:00 a.m. - 4:00 p.m. |
| OFFICE 186 PS                                  | 5% = 9.3 PS                | 100% = 186 PS         | 10% = 18.6 PS              | 5% = 9.3 PS           |
| RETAIL 23 PS                                   | 5% = 1.15 PS               | 70% = 16.1 PS         | 90% = 20.7 PS              | 70% = 16.1 PS         |
| RESTAURANT SITDOWN (FAMILY) 23 PS              | 10% = 2.3 PS               | 100% = 23 PS          | 75% = 17.25 PS             | 100% = 23 PS          |
| SUB TOTAL                                      | 12.75 PS                   | 57.7 PS               | 62.3 PS                    | 48.4 PS               |
| MINIMUM SHARED PARKING SPACE REQUIRED: 62.3 PS |                            |                       |                            |                       |

| FLOOR AREA CALCULATIONS  |             |  |
|--|-------------|--|
| SPACE  | USE         | AREA                                     |
| EXISTING BANK & OFFICE BUILDING                                |             |  |
| EXISTING   | OFFICE/BANK | 9,808 SF                                 |
| EXT BUILDING-1   | OFFICE      | 17,432 SF                                |
| EXT BUILDING-2   | OFFICE      | 22,151 SF                                |
| PROPOSED RESTAURANT/RETAIL/OFFICE BUILDING & PARKING STRUCTURE |             |  |
| PROPOSED   | RESTAURANT  | 1,500 SF                                 |
| PROPOSED   | RETAIL      | 4,500 SF                                 |
| PROPOSED   | OFFICE      | 12,000 SF                                |
| PROPOSED   | PARKING     | GROUND FLOOR SECOND FLOOR TO SIXTH FLOOR |
|  |             | 13,640 SF 68,200 SF                      |
| TOTAL FLOOR AREA   |             | 149,231 SF                               |

**LEGAL DESCRIPTION:**  
 TRACK "A", "GROVOPAC SUBDIVISION", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 115, PAGE 90, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, LESS THE WESTERLY 24 FEET THEREOF, ACQUIRED BY THE DEPARTMENT OF TRANSPORTATION, STATE OF FLORIDA FOR RIGHT-OF-WAY FOR STATE ROAD NO. 5 (BISCAYNE BOULEVARD).



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STATE OF FLORIDA  
 CARLOS PIZARRO  
 REGISTERED ARCHITECT  
 AR0013079

09-26-2021  
**Carlos Pizarro, R.A.**  
 AR - 0013079

Revisions:  
 1 10/29/21 TRAD COMMENTS  
 2 04/01/22 TRAD COMMENTS  
 3 09/07/22 TRAD COMMENTS  
 4 09/26/22 TRAD COMMENTS

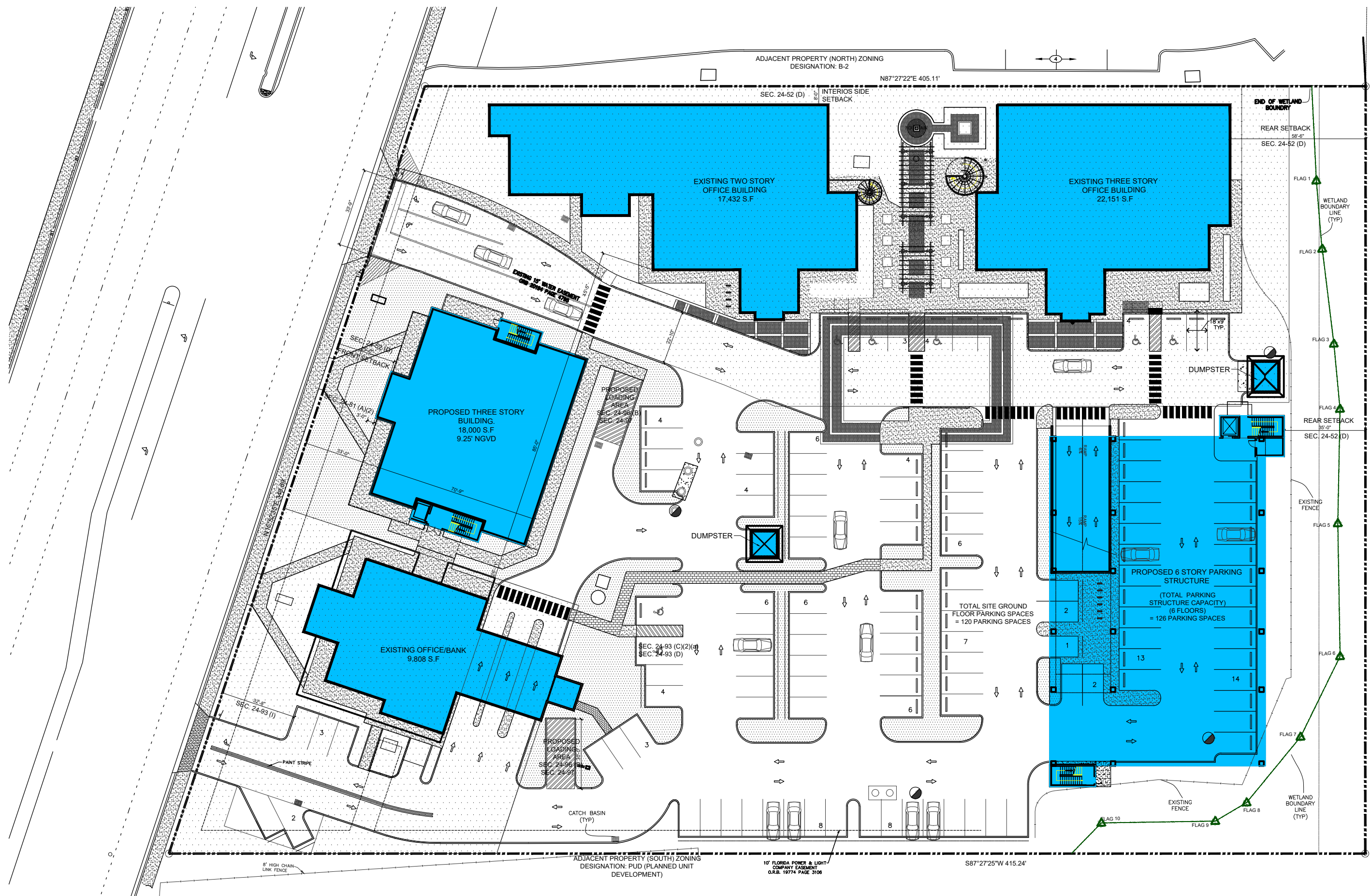
OWNER/DEVELOPER:  
**BISCAYNE 18 DEVELOPMENT LLC**  
 15801 BISCAYNE BOULEVARD SUITE 203  
 NORTH MIAMI BEACH, FLORIDA 33160

PROJECT:  
**PROPOSED 3 STORY OFFICE / RETAIL BUILDING & 6 STORY PARKING STRUCTURE AT BISCAYNE OFFICE COMPLEX**  
 15801 BISCAYNE BOULEVARD  
 NORTH MIAMI BEACH, FLORIDA 33160

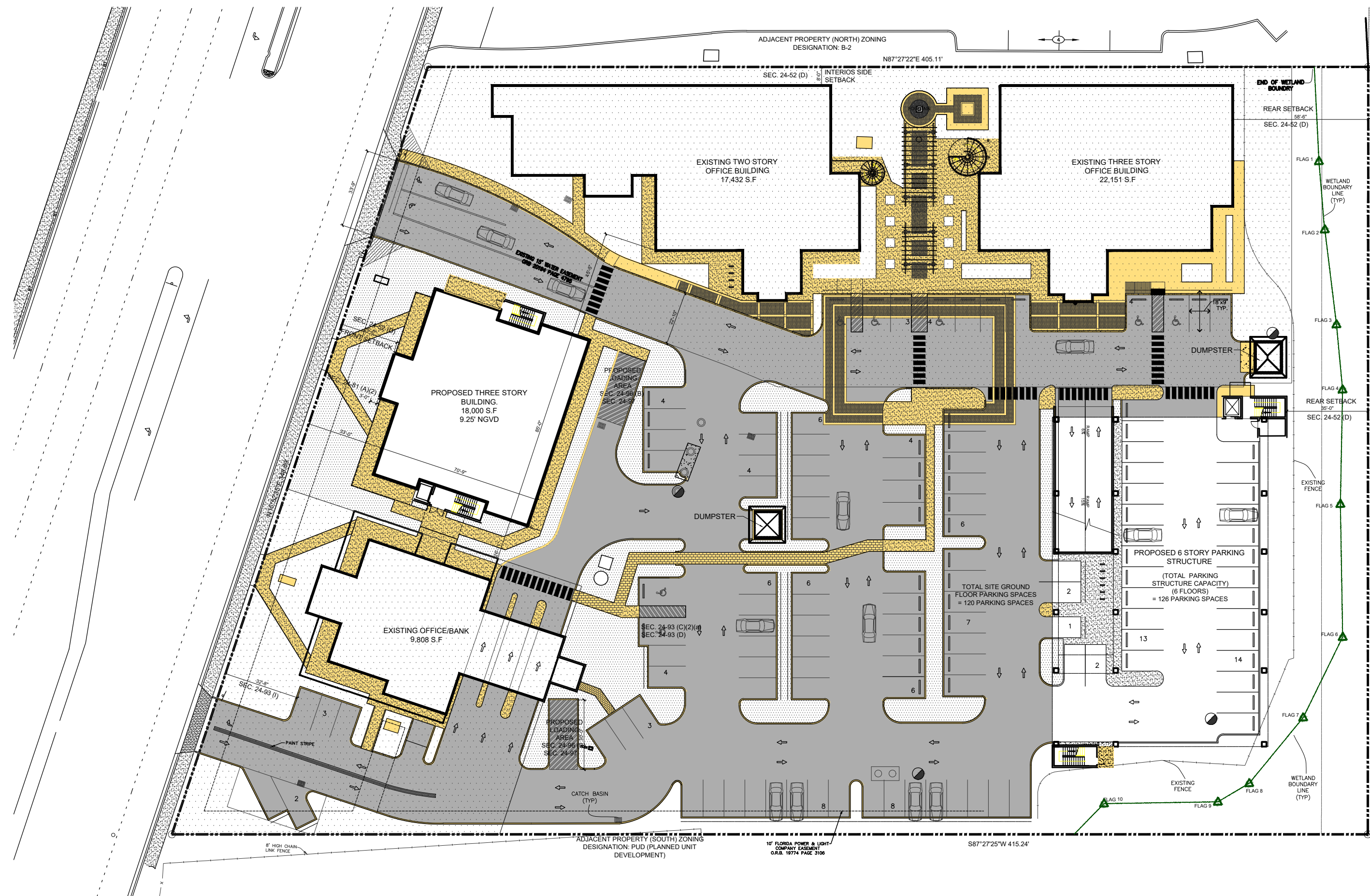
Job Number: 21007.01  
 File Name:  
 Issued Date: 07/01/2021  
 Drawn by: J.C.  
 Checked by: C.P./C.C.

SHEET NAME  
**SITE PLAN**

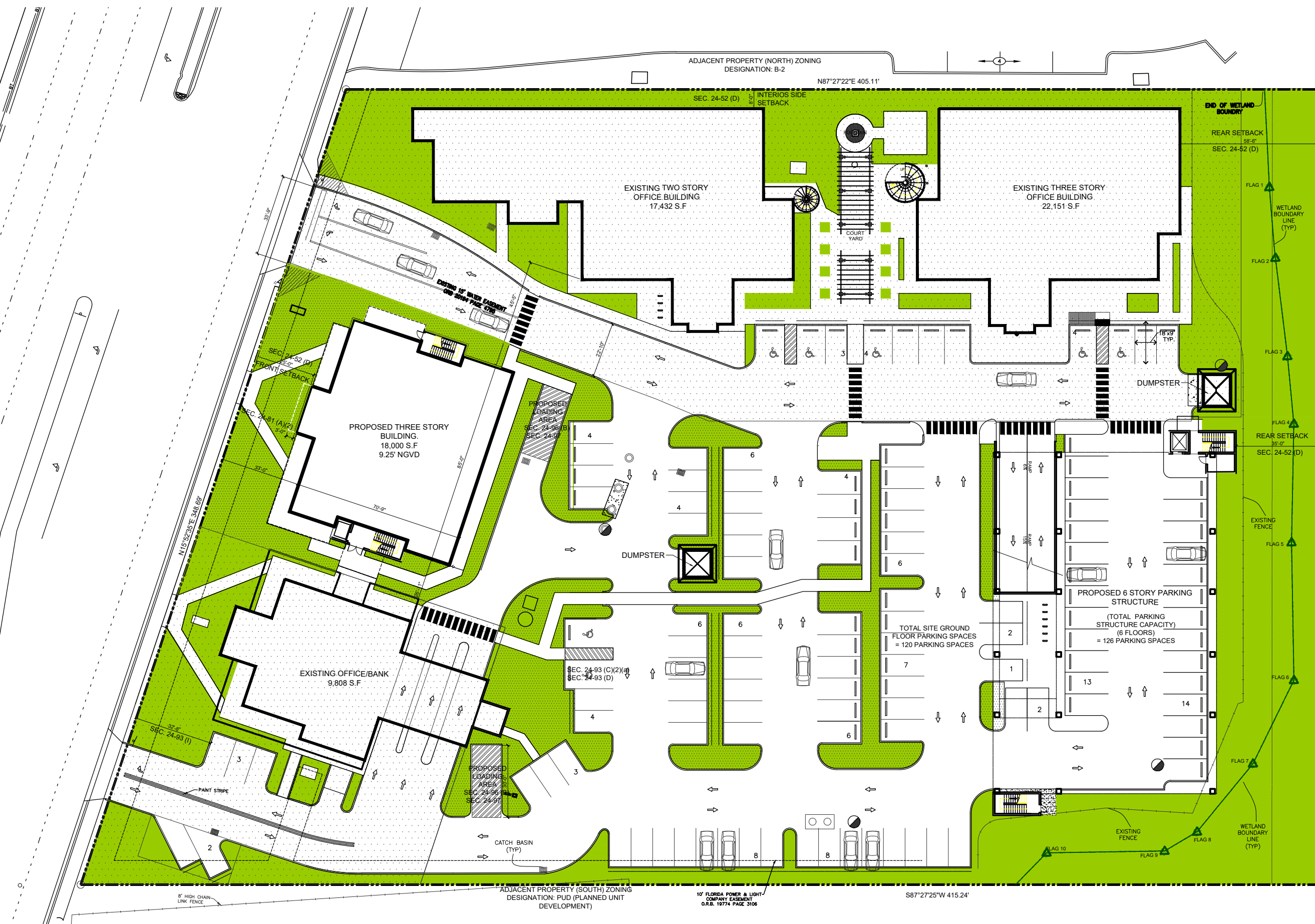
SHEET NUMBER  
**SP-1.0**



**SITE PLAN**  
SCALE: 1" = 40'-0"  
**COVERAGE AREA = 40,444.5 SF (26.5%)**



**SITE PLAN**  
SCALE: 1" = 40'-0"  
**PAVED AREA = 63,047 SF (41.38%)**



**SITE PLAN**  
SCALE: 1" = 40'-0"  
**OPEN SPACE = 44,997 SF (29.53%)**

**SITE PLAN LEGEND:**

|  |                   |  |                |
|--|-------------------|--|----------------|
|  | PROPERTY LINE     |  | SIDEWALKS      |
|  | EXISTING EASEMENT |  | ASPHALT AREA   |
|  | EXISTING          |  | LANDSCAPE AREA |
|  | COVERAGE AREA     |  |                |

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**STATE OF FLORIDA**  
**CARLOS PIZARRO**  
REGISTERED ARCHITECT  
AR0013079  
08-05-2021  
**Carlos Pizarro, R.A.**  
AR - 0013079

Revisions:  
10/29/21 TRAD COMMENTS

OWNER/DEVELOPER:  
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15801 BISCAYNE BOULEVARD SUITE 203  
NORTH MIAMI BEACH, FLORIDA 33160

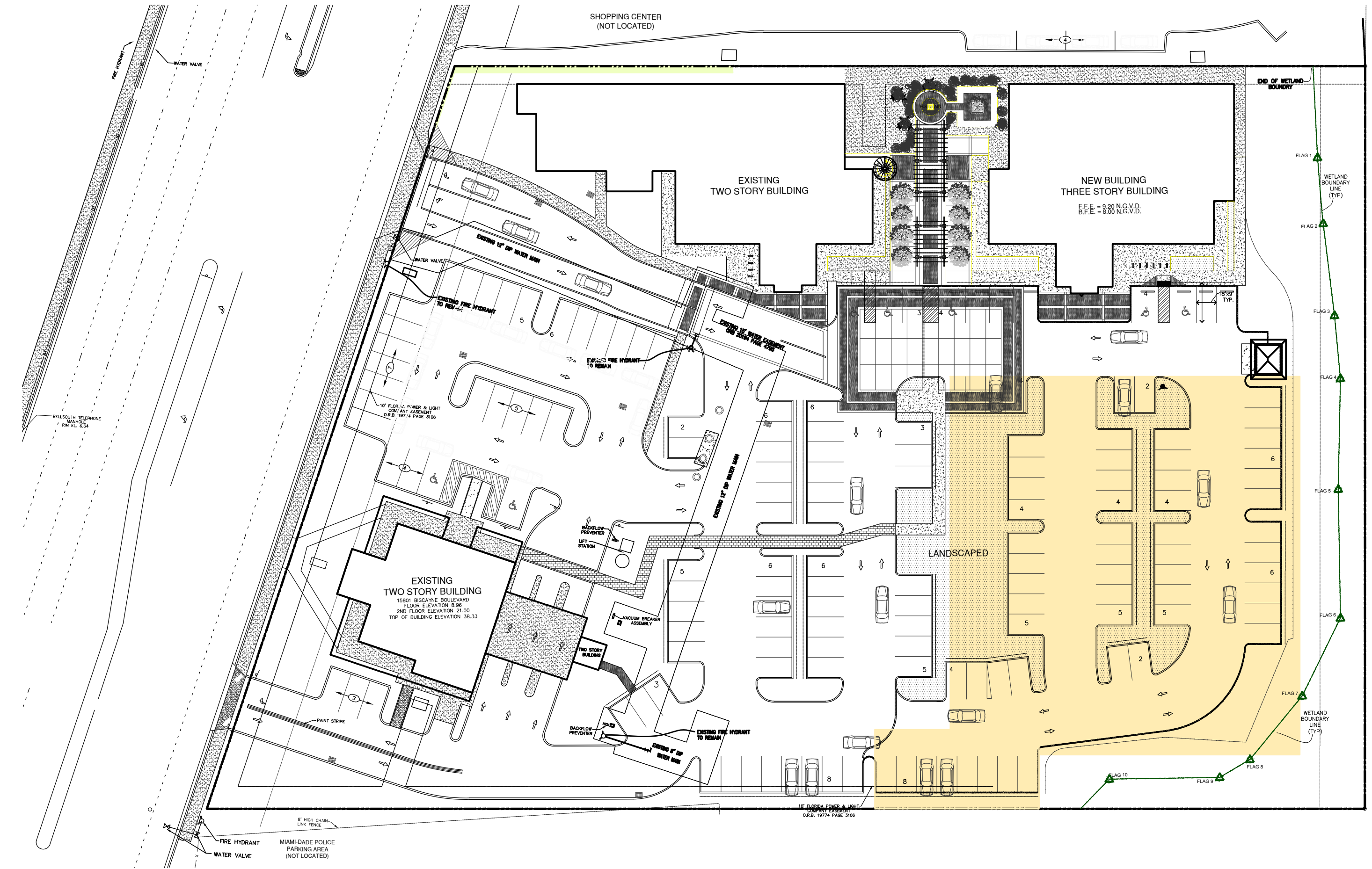
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NORTH MIAMI BEACH, FLORIDA 33160

Job Number: 21007.01  
File Name:  
Issued Date: 07/01/2021  
Drawn by: J.C.  
Checked by: C.P./C.C

SHEET NAME  
**SITE PLAN AREAS**

SHEET NUMBER  
**SP-1.1**

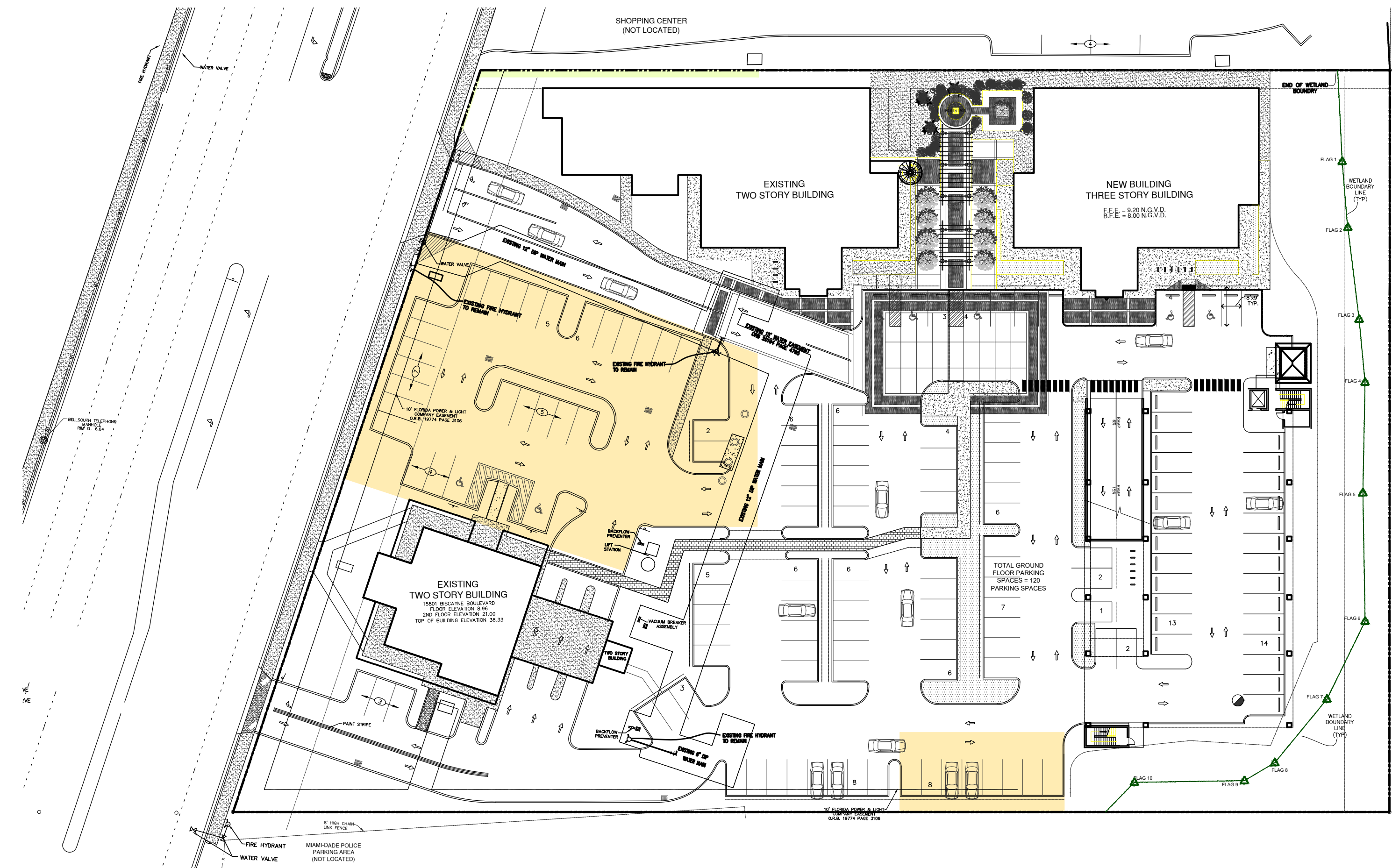




**SITE PLAN PHASE 1**  
SCALE: 1" = 40'-0"

IN NEGOTIATION TO USE A PORTION OF NEIGHBORING SITE FOR ADDITIONAL PARKING

**PARKING AVAILABLE DURING CONSTRUCTION = 102 P.S.**



**SITE PLAN PHASE 2**  
SCALE: 1" = 40'-0"

**PARKING AVAILABLE DURING CONSTRUCTION = 197 P.S.**



08-05-2021  
**Carlos Pizarro, R.A.**  
AR - 0013079

Revisions:

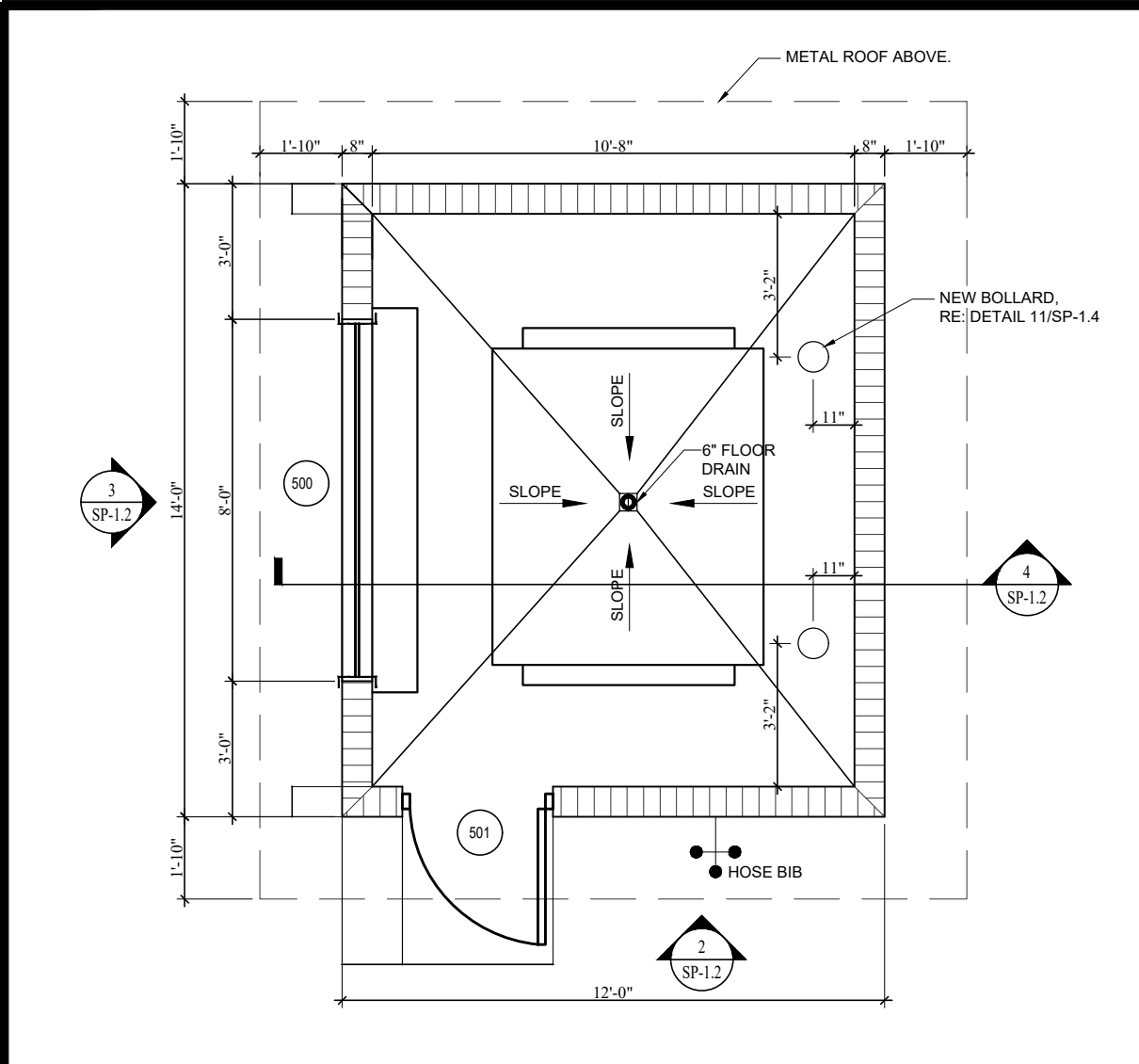
OWNER/DEVELOPER:  
**BISCAYNE 18 DEVELOPMENT LLC**  
15801 BISCAYNE BOULEVARD SUITE 203  
NORTH MIAMI BEACH, FLORIDA 33160

PROJECT:  
**PROPOSED 3 STORY OFFICE / RETAIL BUILDING & 6 STORY PARKING STRUCTURE AT BISCAYNE OFFICE COMPLEX**  
15801 BISCAYNE BOULEVARD  
NORTH MIAMI BEACH, FLORIDA 33160

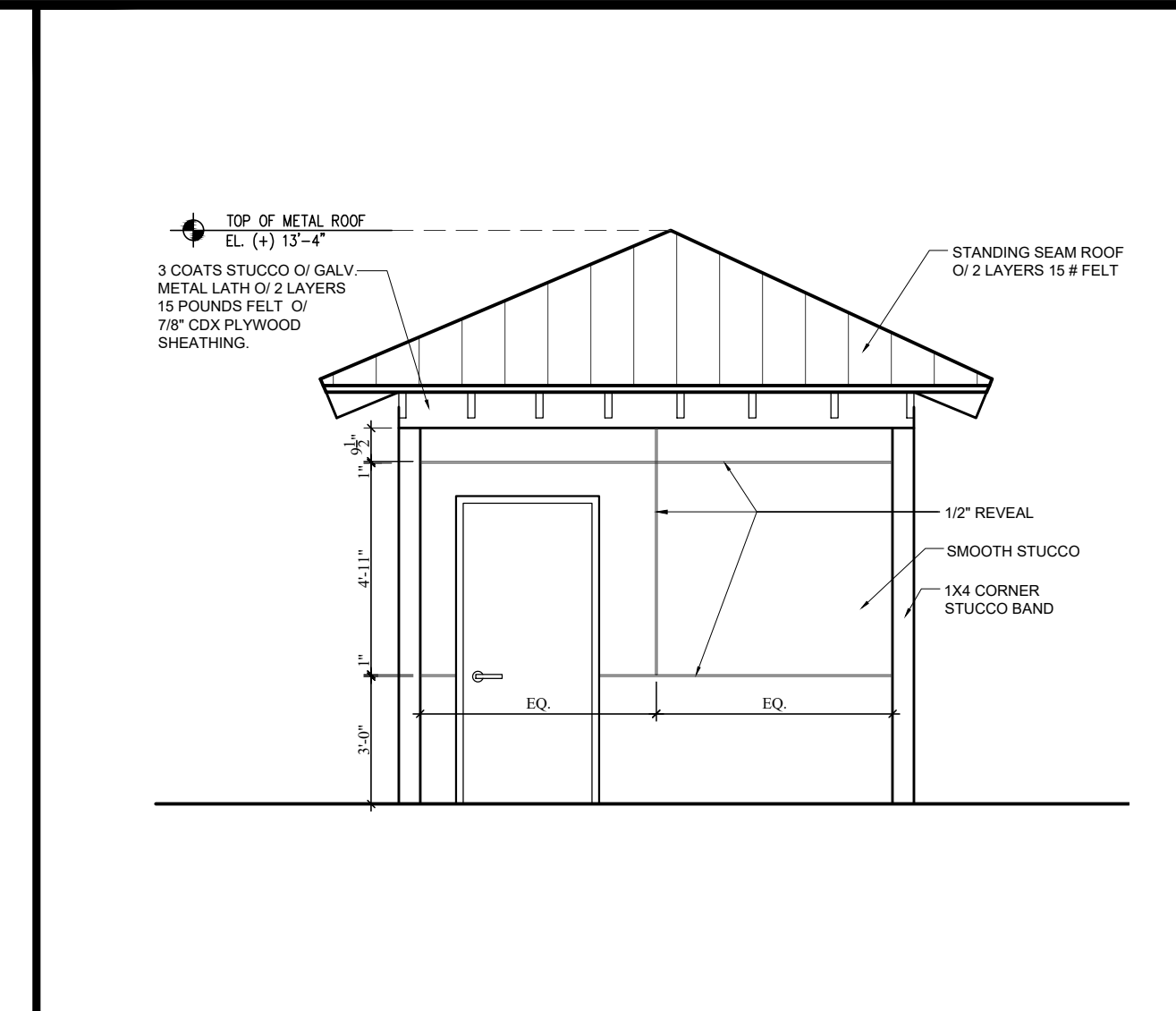
Job Number: 21007.01  
File Name:  
Issued Date: 07/01/2021  
Drawn by: J.C.  
Checked by: C.P./C.C.

SHEET NAME  
**SITE PLAN PHASES**

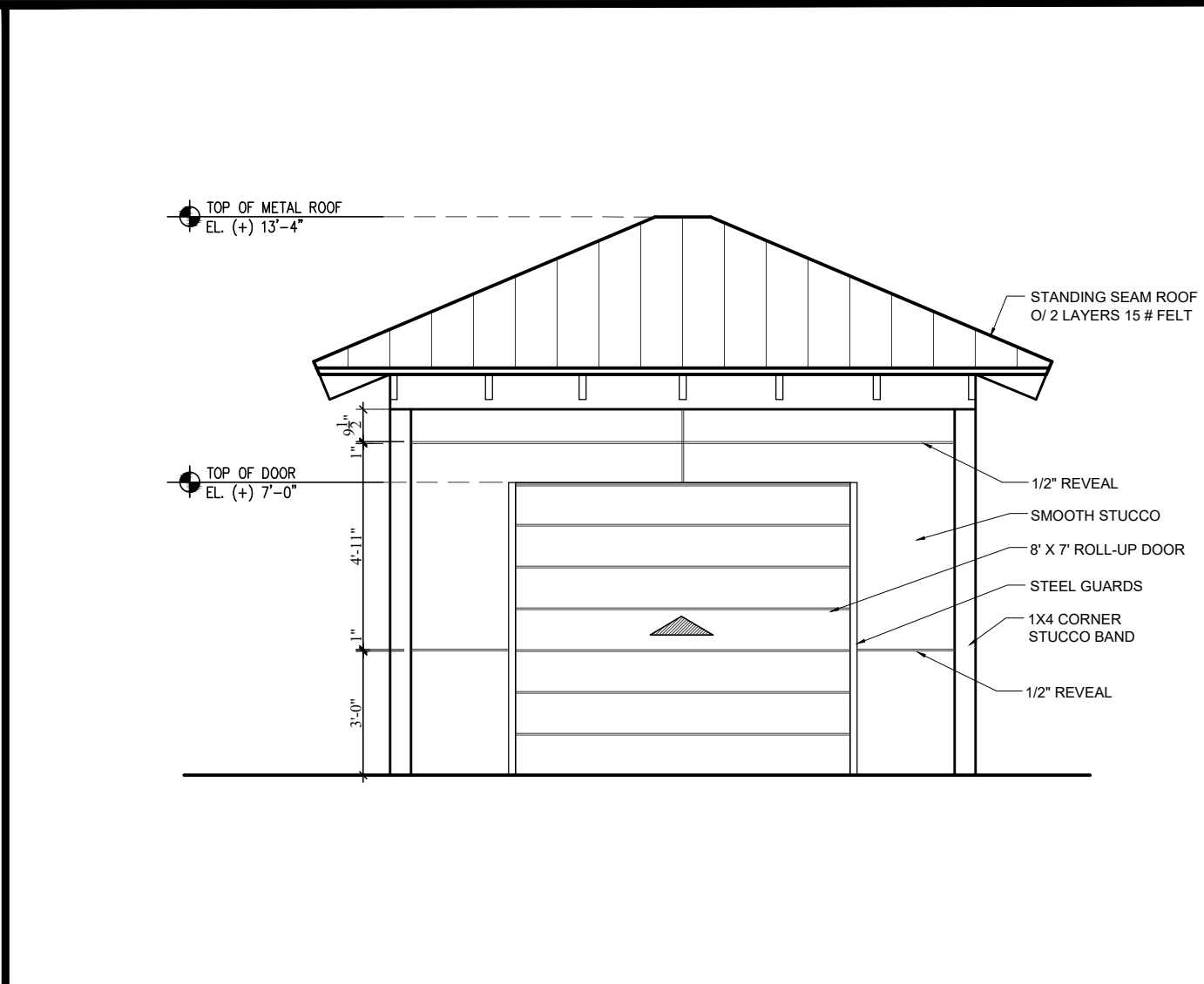
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**SP-1.2**



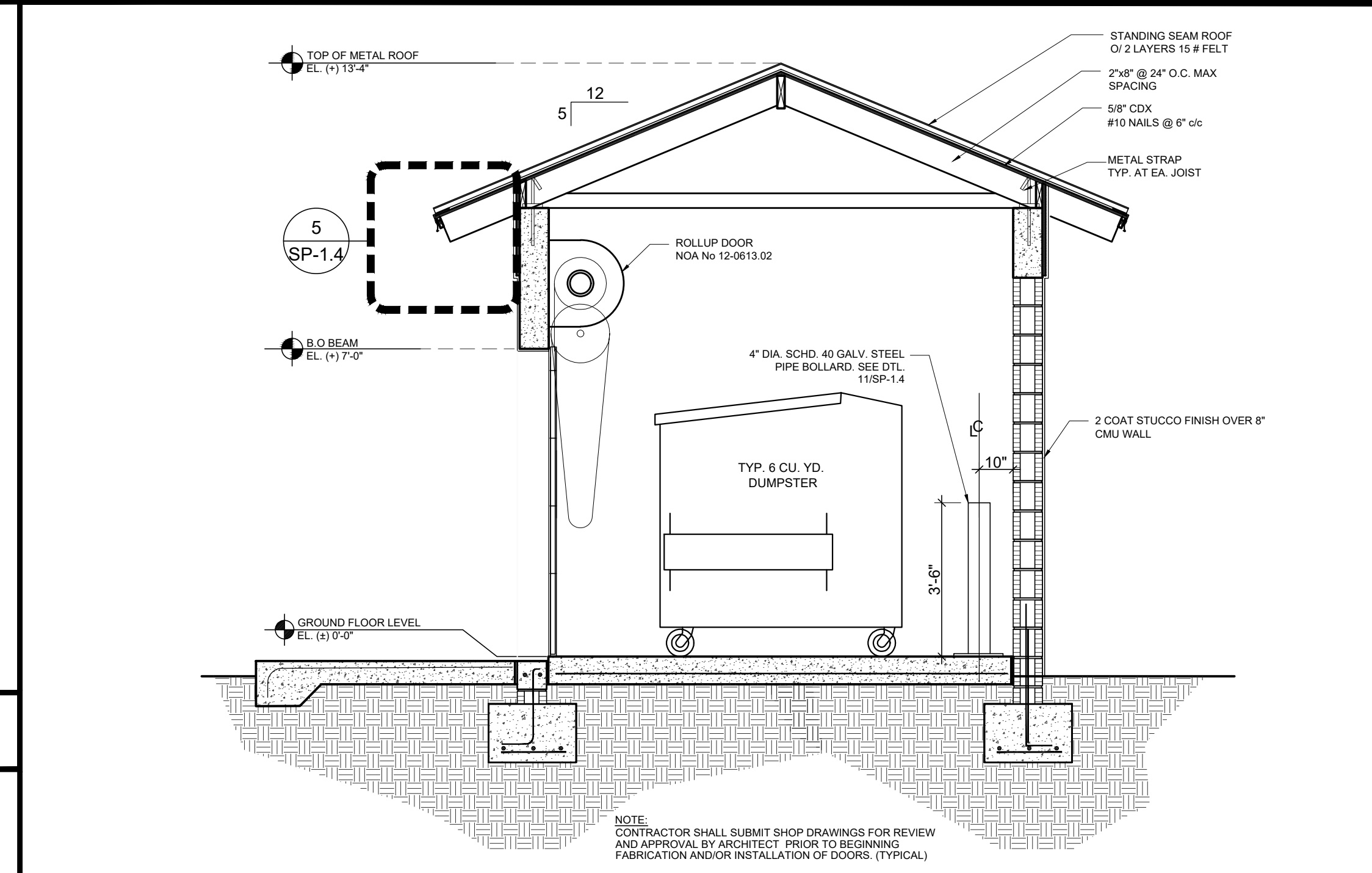
**1 ENLARGED DUMPSTER ENCLOSURE**  
SCALE: 1/4" = 1'-0"



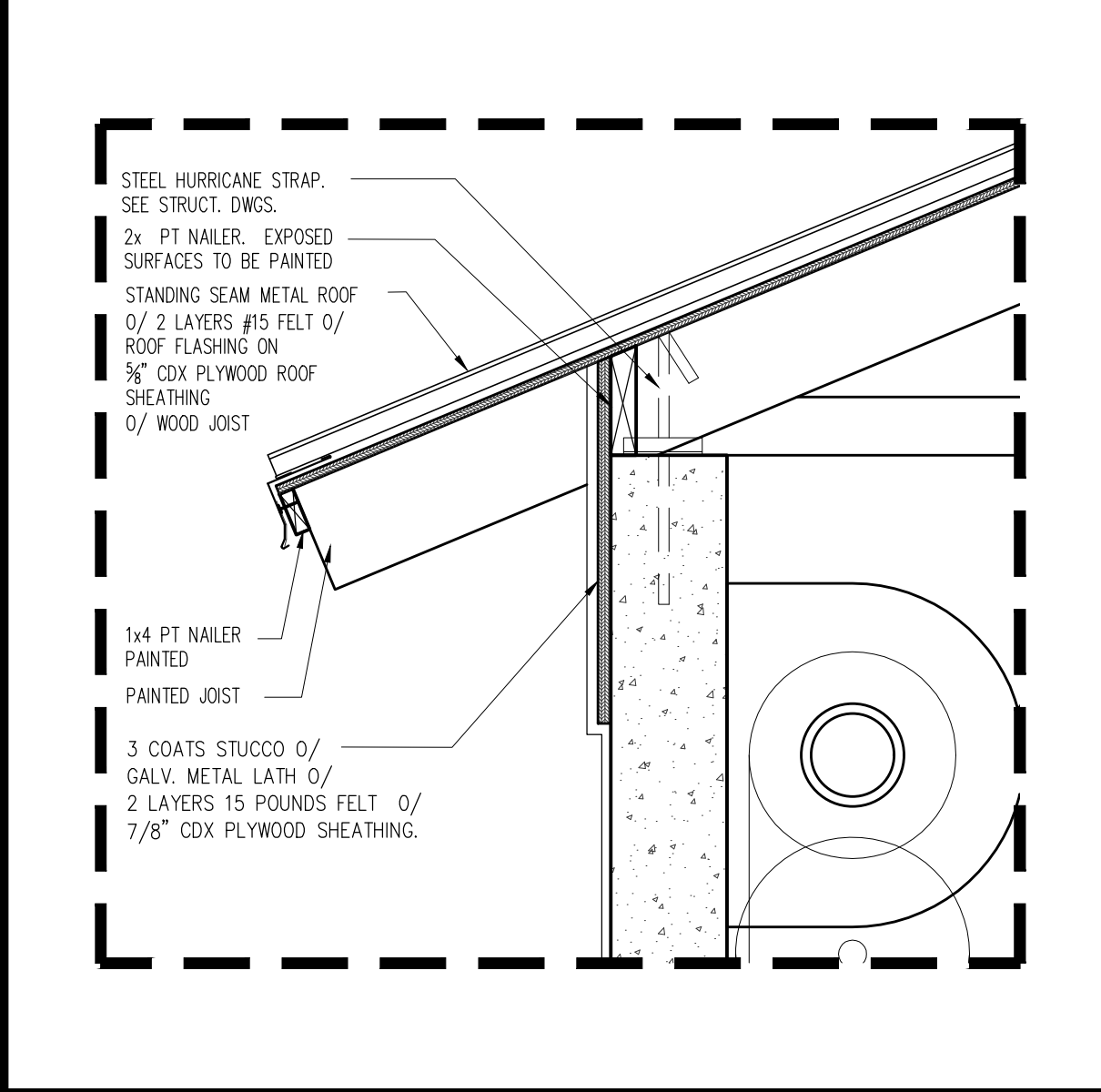
**2 DUMPSTER ELEVATION (SOUTH) ELEVATION**  
SCALE: 1/4" = 1'-0"



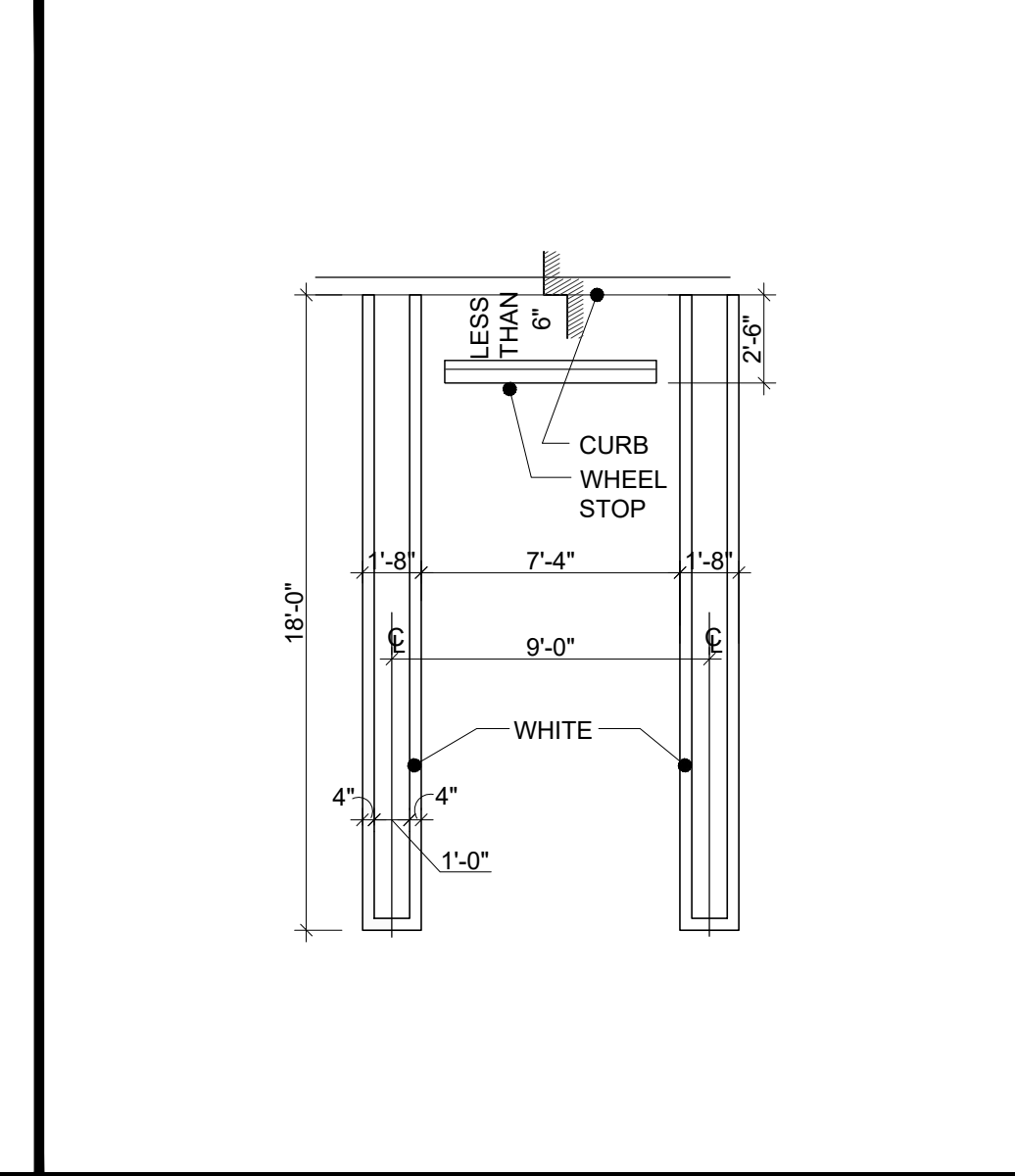
**3 DUMPSTER ELEVATION (WEST) ELEVATION**  
SCALE: 1/4" = 1'-0"



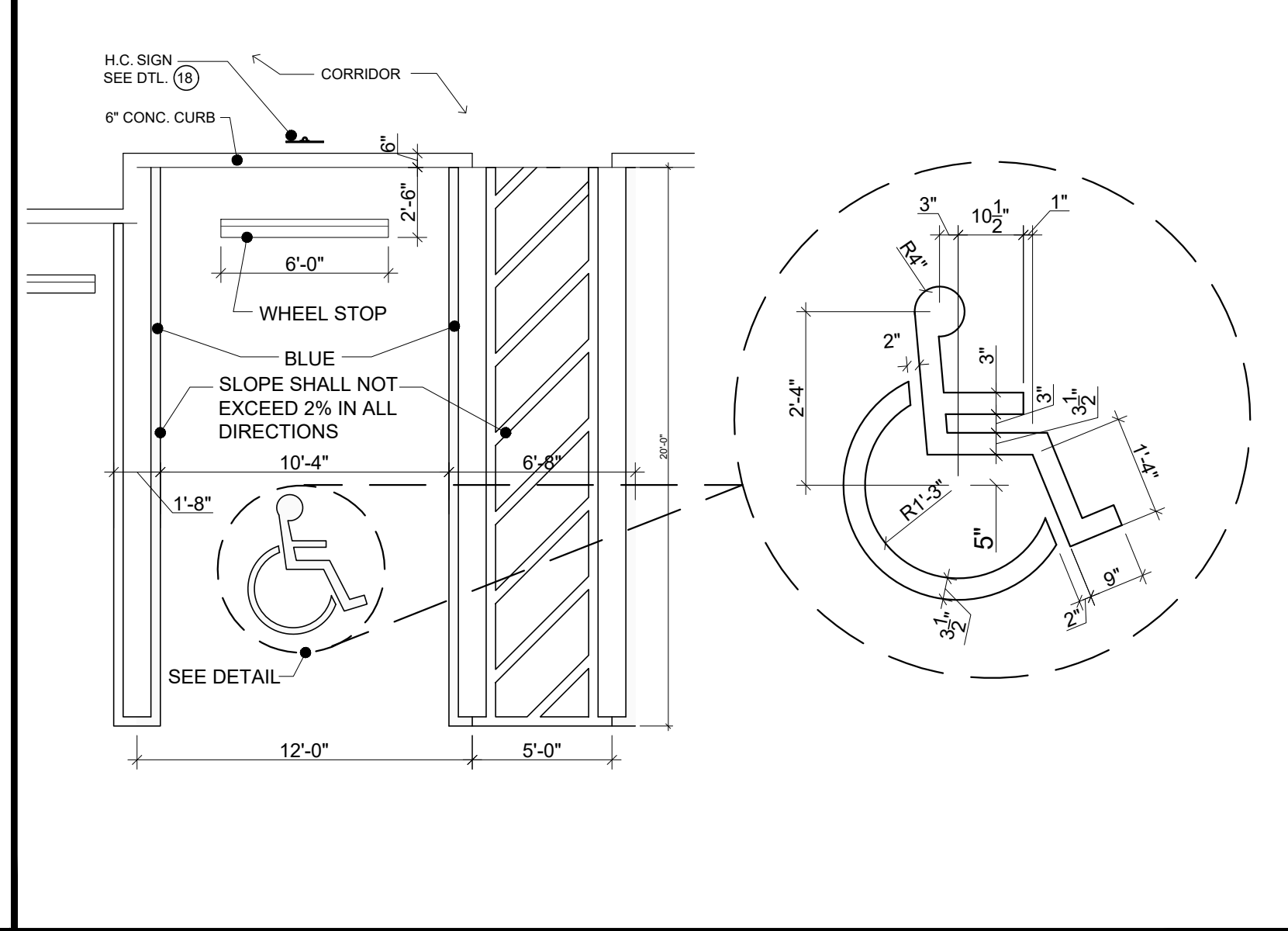
**4 DUMPSTER CROSS SECTION**  
SCALE: 3/8" = 1'-0"



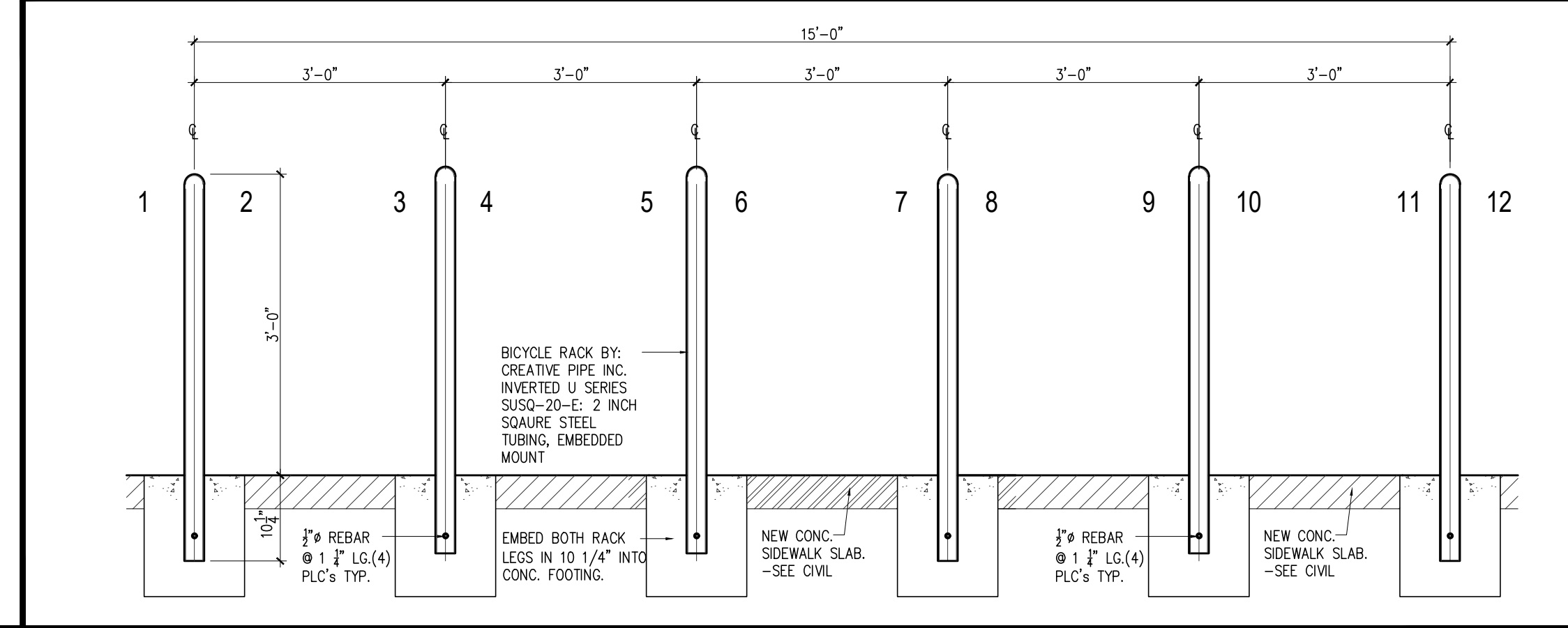
**5 DETAIL -1**  
SCALE: 3/8" = 1'-0"



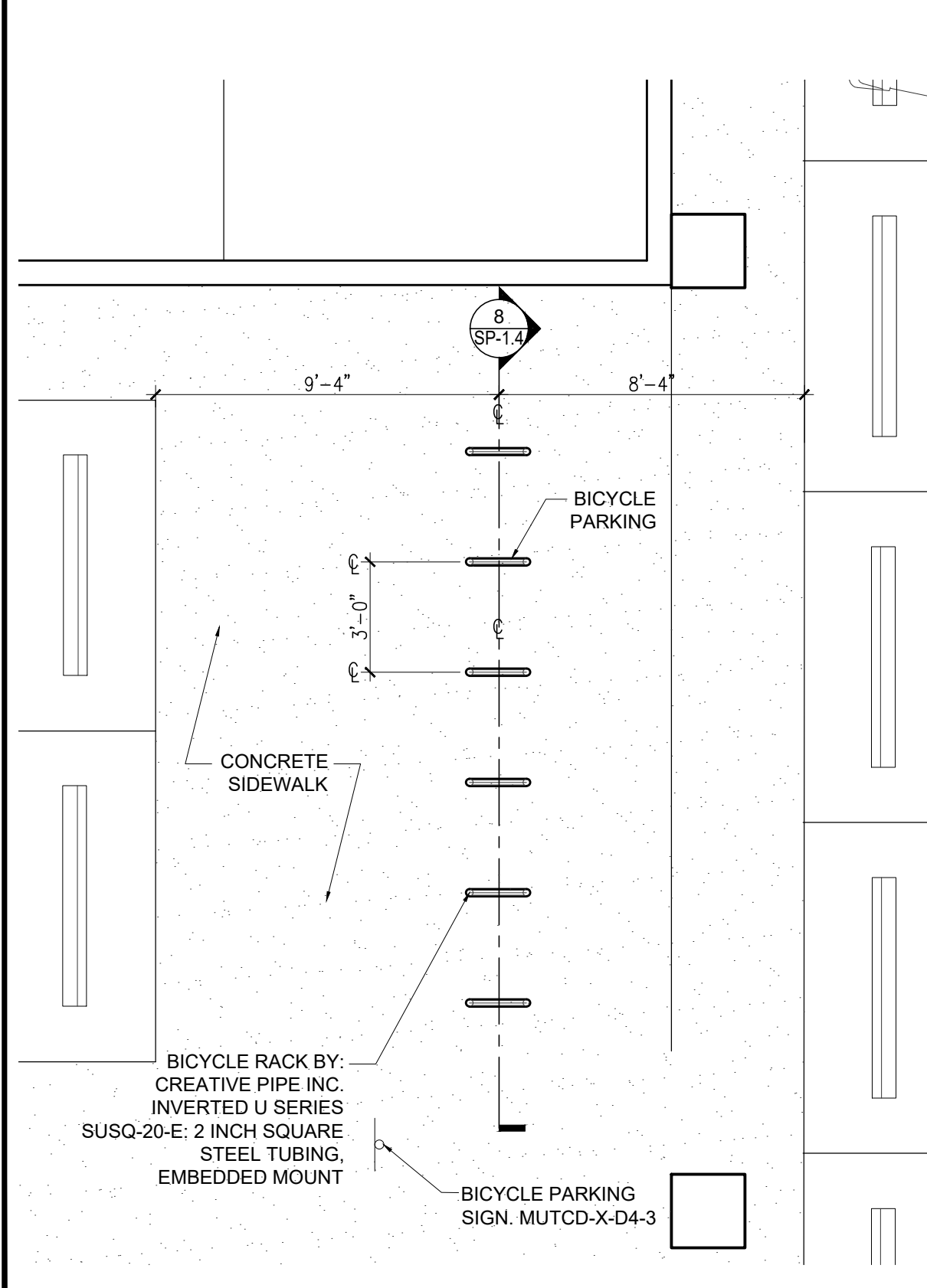
**6 STANDARD PARKING SPACE**  
SCALE: 3/16" = 1'-0"



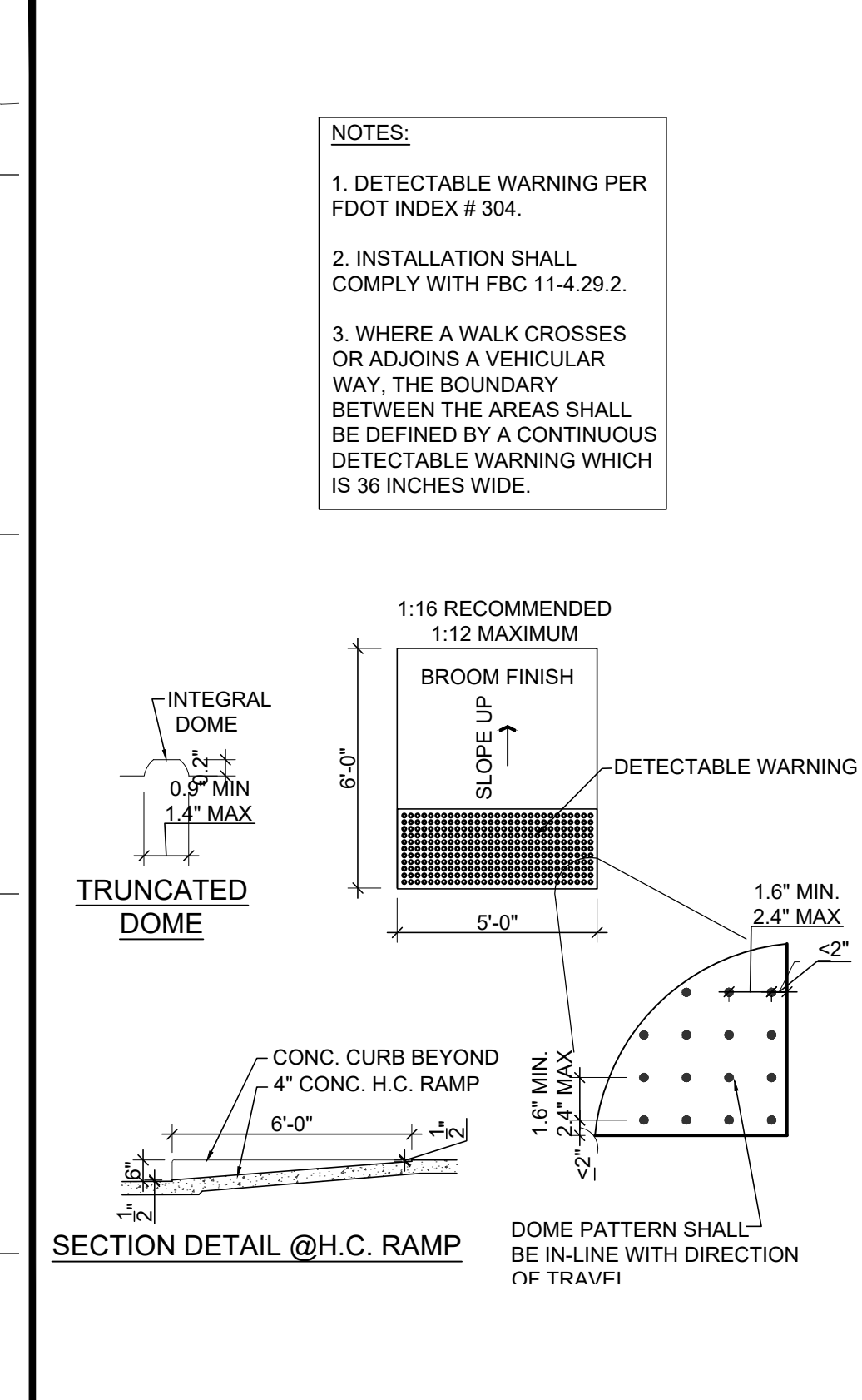
**7 H.C. ACCESSIBLE PARKING SPACE**  
SCALE: 3/16" = 1'-0"



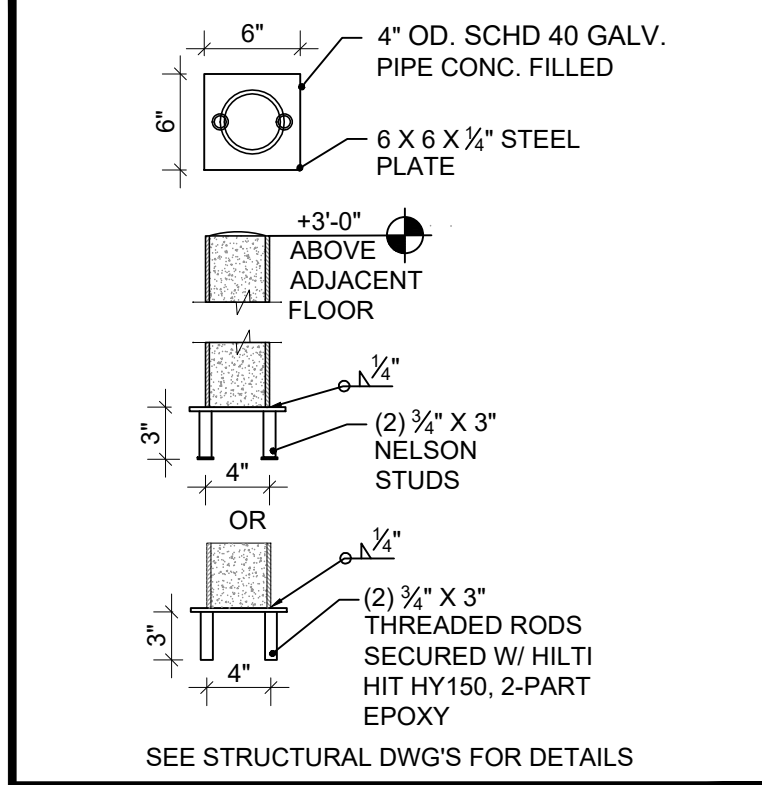
**8 BIKE RACK ELEVATION**  
SCALE: N.T.S.



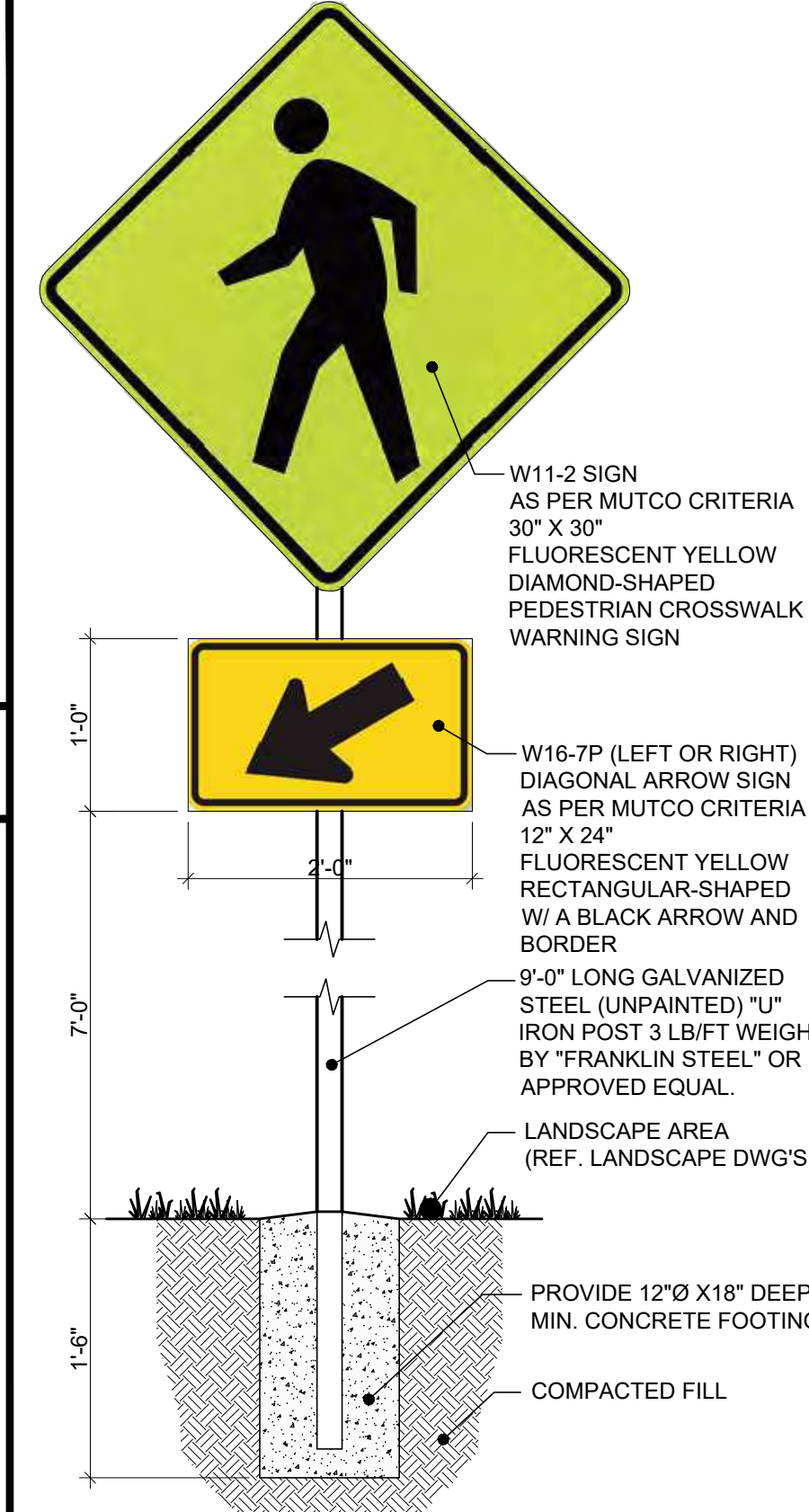
**9 BIKE RACK PLAN**  
SCALE: 1/4" = 1'-0"



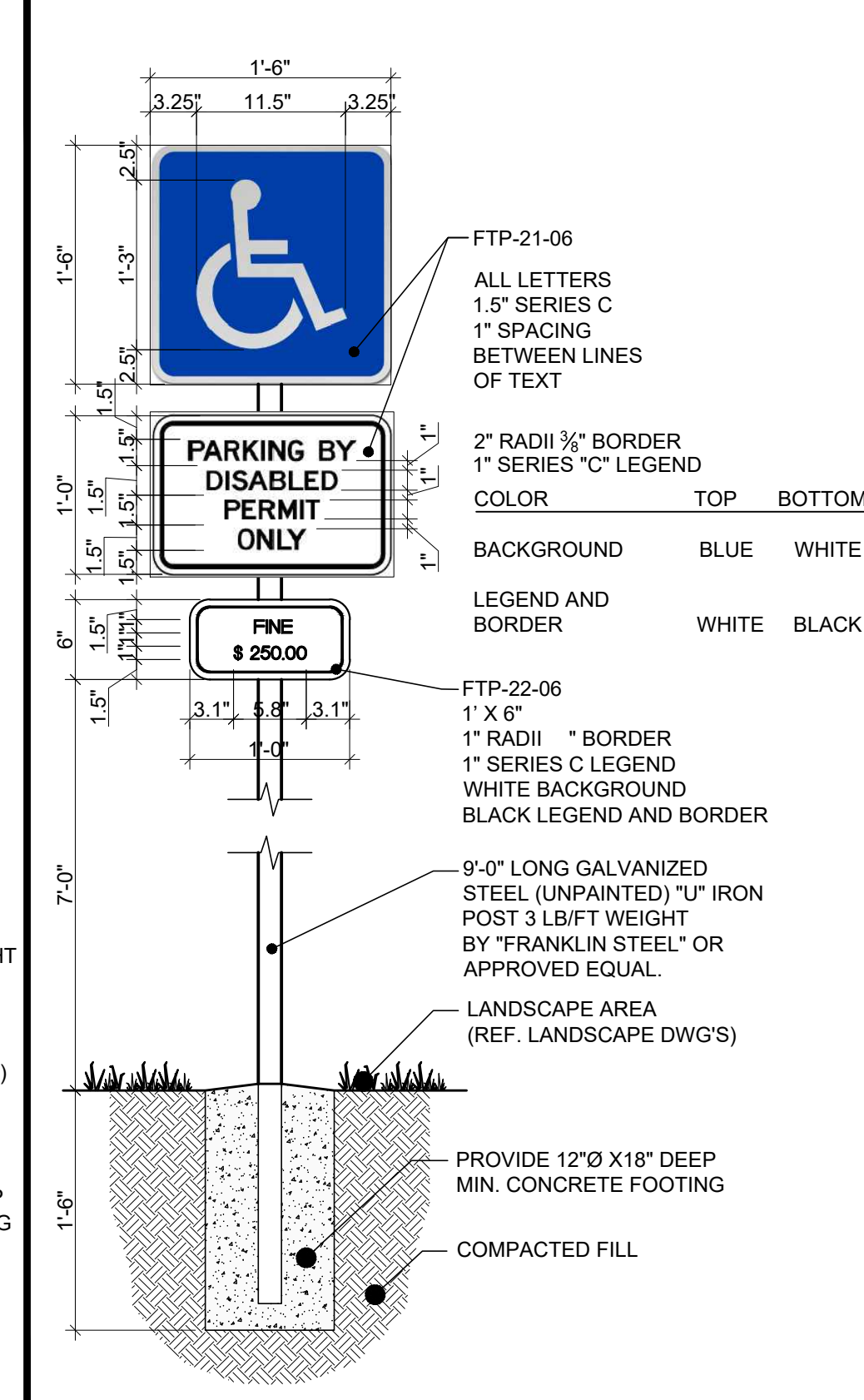
**10 HANDICAP RAMP**  
SCALE: 1/4" = 1'-0"



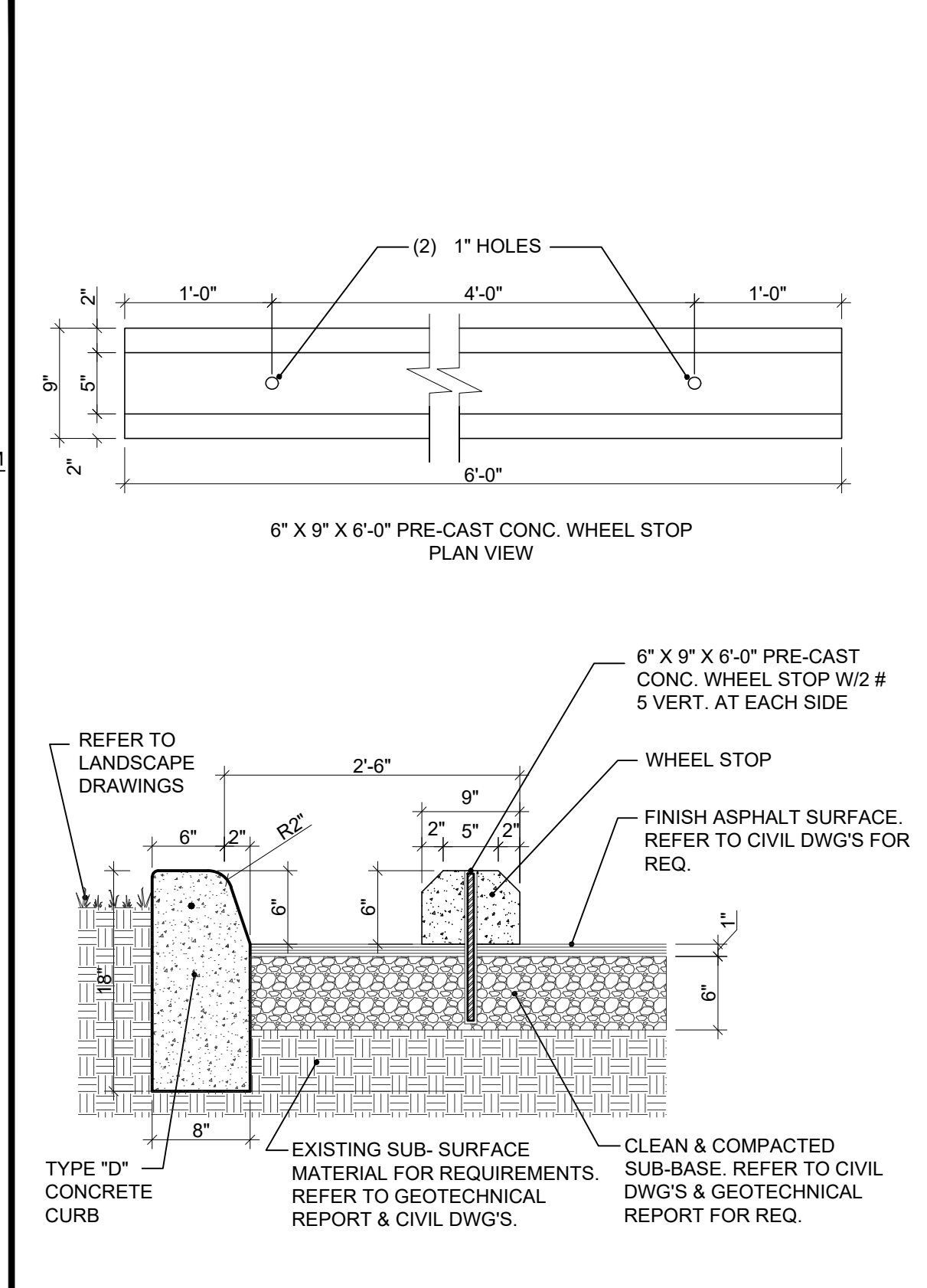
**11 BOLLARD DETAIL**  
SCALE: 1-1/2" = 1'-0"



**13 PEDESTRIAN CROSSING SIGN**  
SCALE: N.T.S.



**14 H.C. DISABLED PARKING SIGNAGE**  
SCALE: 1" = 1'-0"



**15 PRE-CAST CONCRETE & TYPE D CONC CURB DETAIL**  
SCALE: 1" = 1'-0"

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www.diarchitect.com

**STATE OF FLORIDA**  
**CARLOS PIZARRO**  
REGISTERED ARCHITECT  
AR0013079  
06-05-2021  
**Carlos Pizarro, R.A.**  
AR-0013079

Revisions:  
10/29/21 TRAD COMMENTS

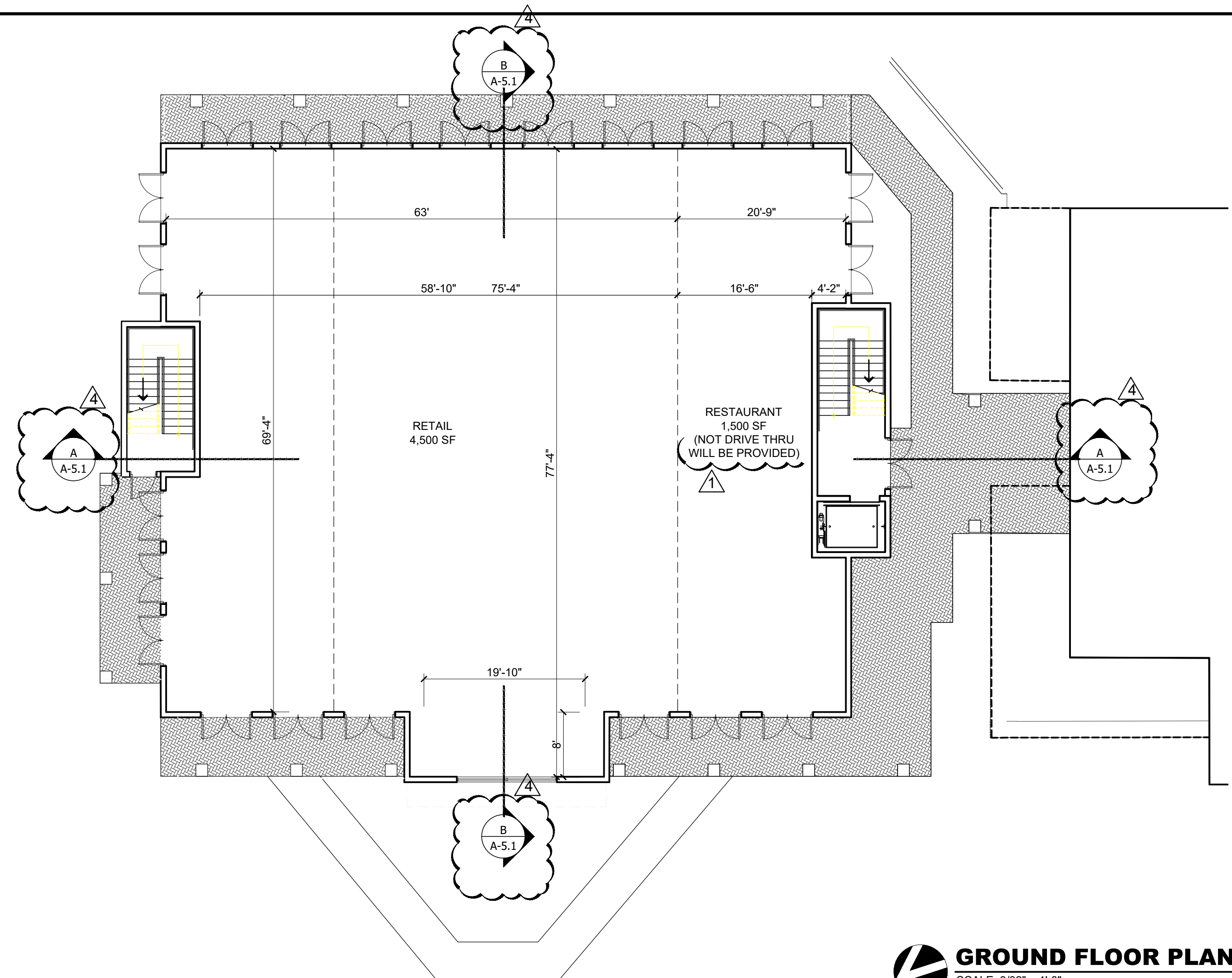
OWNER/DEVELOPER:  
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15801 BISCAYNE BOULEVARD SUITE 203  
NORTH MIAMI BEACH, FLORIDA 33160

PROJECT:  
**PROPOSED 3 STORY OFFICE / RETAIL BUILDING & 6 STORY PARKING STRUCTURE AT BISCAYNE OFFICE COMPLEX**  
15801 BISCAYNE BOULEVARD  
NORTH MIAMI BEACH, FLORIDA 33160

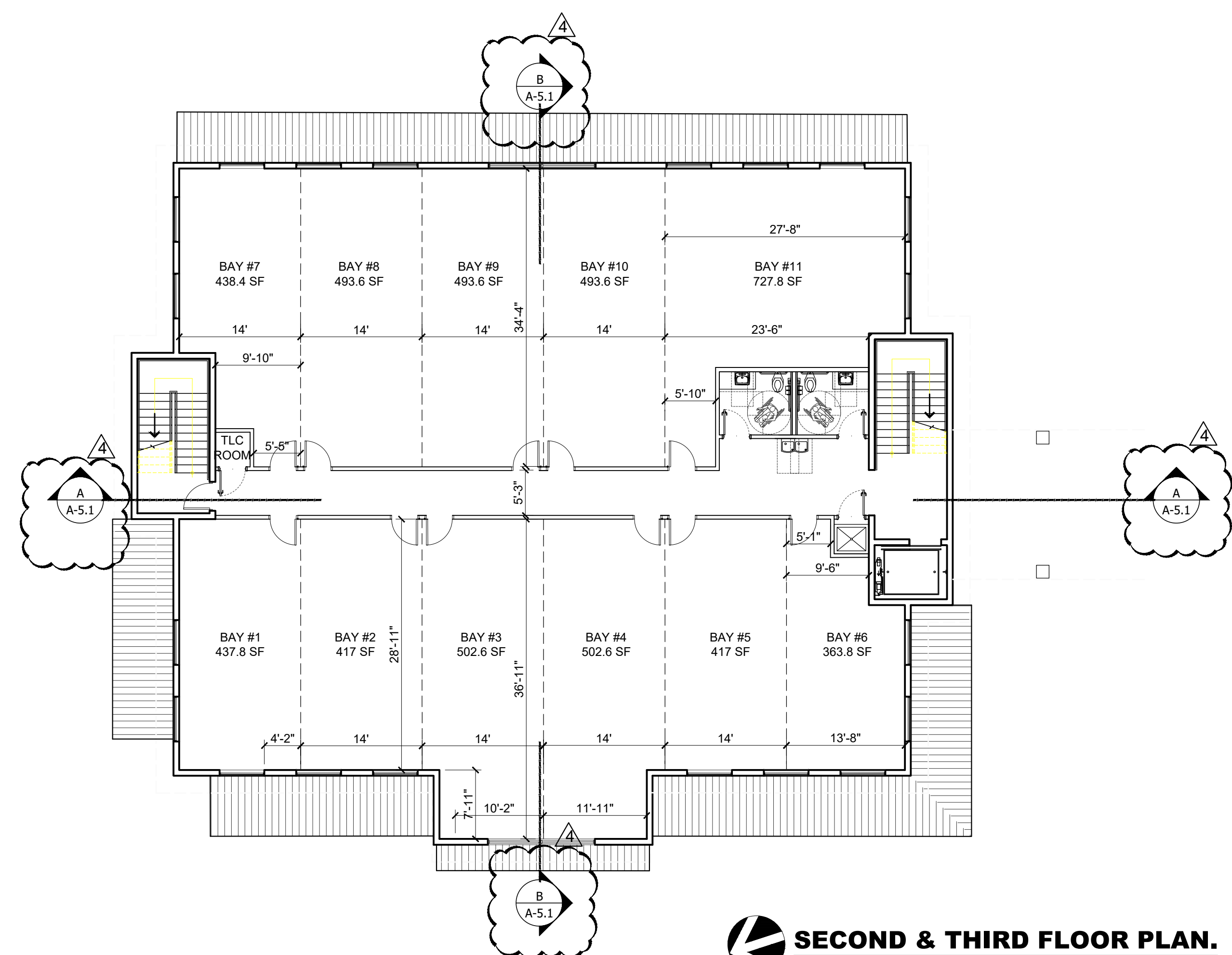
Job Number: 21007.01  
File Name:  
Issued Date:  
Drawn by: J.C.  
Checked by: C.P./C.C

SHEET NAME  
**SITE PLAN DETAILS**

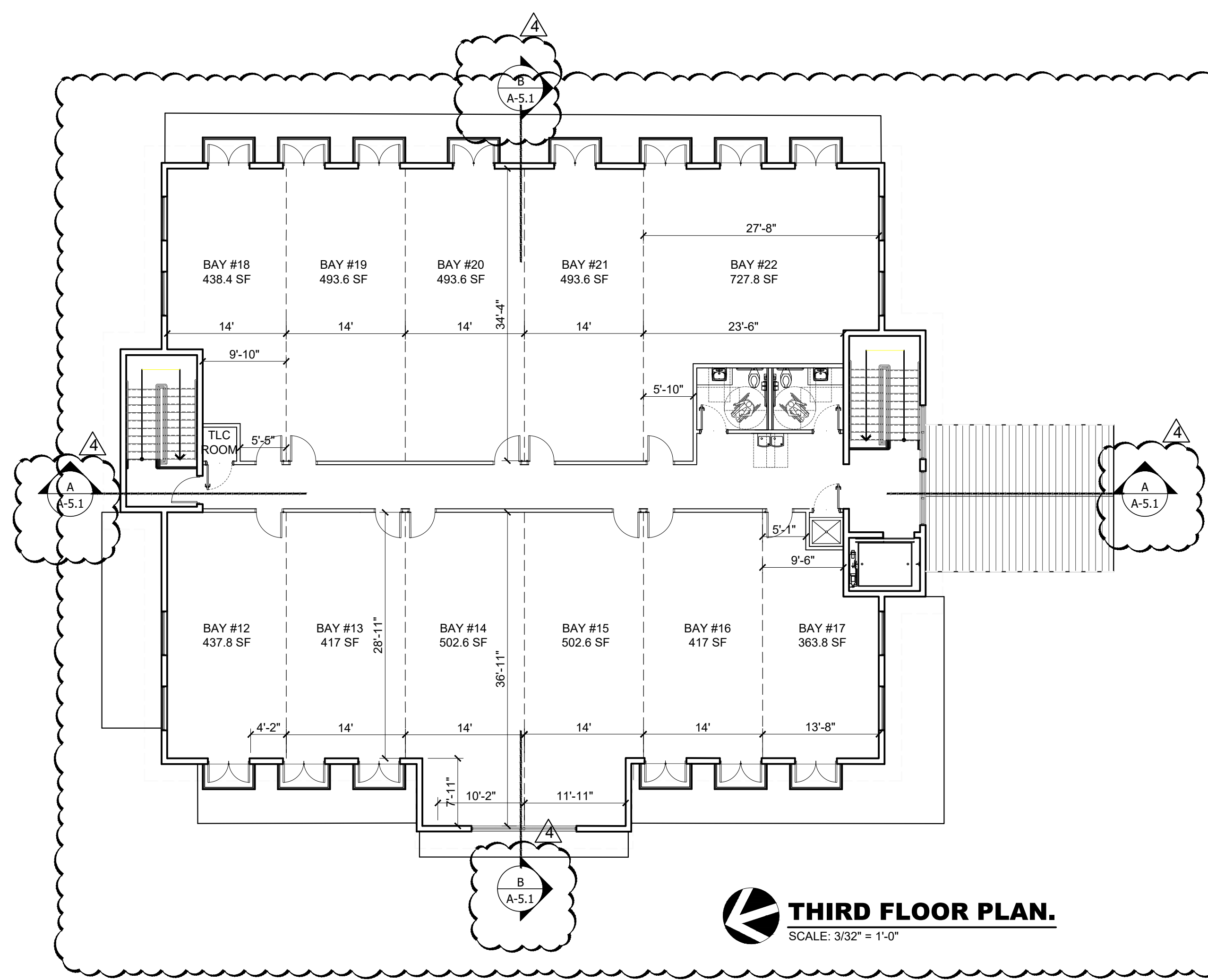
SHEET NUMBER  
**SP-1.4**



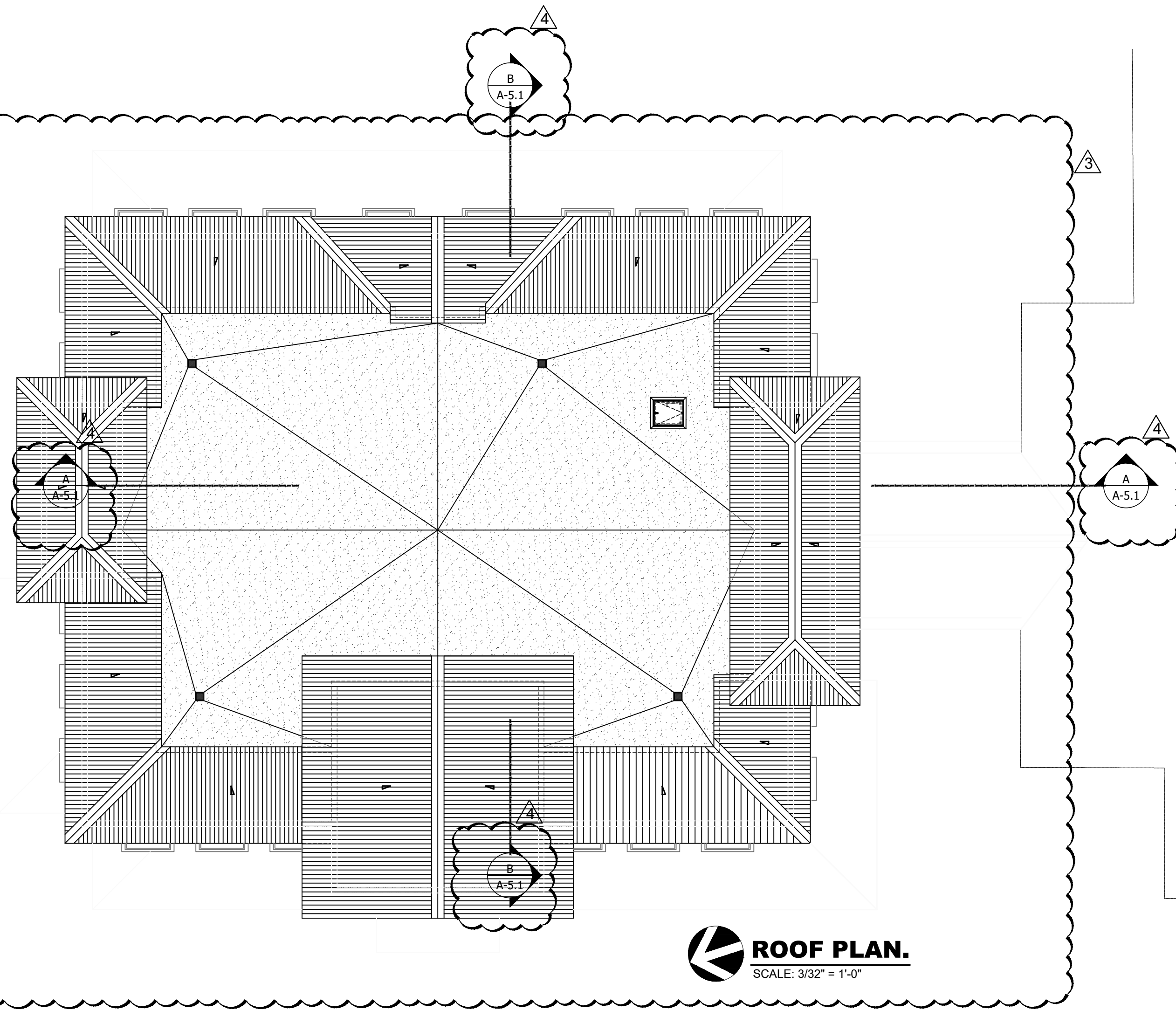
**GROUND FLOOR PLAN.**  
SCALE: 3/32" = 1'-0"



**SECOND & THIRD FLOOR PLAN.**  
SCALE: 3/32" = 1'-0"



**THIRD FLOOR PLAN.**  
SCALE: 3/32" = 1'-0"



**ROOF PLAN.**  
SCALE: 3/32" = 1'-0"

Revisions:

|   |                        |
|---|------------------------|
| 1 | 10/29/21 TRAD COMMENTS |
| 3 | 09/07/22 TRAD COMMENTS |
| 4 | 09/26/22 TRAD COMMENTS |

OWNER/DEVELOPER:  
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15801 BISCAYNE BOULEVARD SUITE 203  
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PROJECT:  
PROPOSED 3 STORY OFFICE /  
RETAIL BUILDING  
& 6 STORY PARKING STRUCTURE  
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15801 BISCAYNE BOULEVARD  
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|              |          |
|--------------|----------|
| Job Number:  | 21007.01 |
| File Name:   |          |
| Issued Date: |          |
| Drawn by:    | J.C.     |
| Checked by:  | C.P./C.C |

SHEET NAME  
**BUILDING FLOOR PLANS**

SHEET NUMBER  
**A-1.0**



08-05-2021  
**Carlos Pizarro, R.A.**  
 AR - 0013079

Revisions:  
 10/29/21 TRAD COMMENTS

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PROJECT:  
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 15801 BISCAYNE BOULEVARD  
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Job Number: 21007.01  
 File Name:  
 Issued Date: 03/14/2021  
 Drawn by: J.C.  
 Checked by: C.P./C.C

SHEET NAME  
**BUILDING ELEVATIONS**

SHEET NUMBER  
**A-2.0**



**EAST ELEVATION.**  
 SCALE: 3/32" = 1'-0"  
**PROPOSED THREE STORY BUILDING**



**SOUTH ELEVATION.**  
 SCALE: 3/32" = 1'-0"  
**PROPOSED THREE STORY BUILDING**

**ELEVATION NOTE:**  
 1. ALL SIGNS BY SEPARATE PERMIT.

| ELEVATION LEGEND |   |
|------------------|---|
| 1                | TEXTURED STUCCO FINISH (PAINTED)  |
| 2                | ALUMINUM WINDOWS / DOORS  |
| 3                | TEXTURED STUCCO FINISH TO BE MOLDED AND FINISHED TO IMITATE WOOD SIDING |
| 4                | SMOOTH STUCCO FINISH WITH 3/8" SCORE LINE                               |
| 5                | ALUMINUM RAILINGS.  |
| 6                | SMOOTH FINISH STUCCO BAND   |
| 7                | DECORATIVE METAL AWNINGS (WHERE SHOWN)                                  |
| 8                | STANDING SEAM METAL ROOF (WHERE SHOWN)                                  |



08-05-2021  
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Revisions:  
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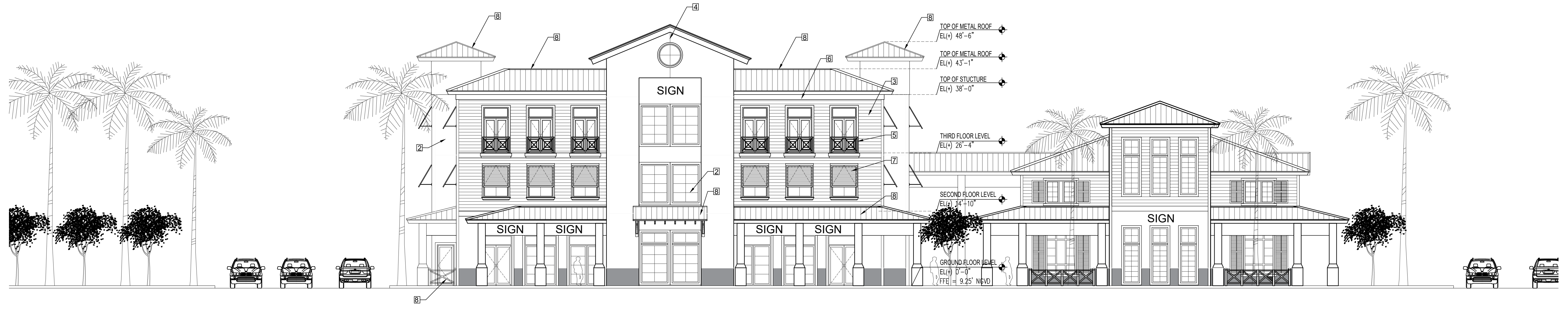
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PROJECT:  
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 15801 BISCAYNE BOULEVARD  
 NORTH MIAMI BEACH, FLORIDA 33160

Job Number: 21007.01  
 File Name:  
 Issued Date: 03/14/2021  
 Drawn by: J.C.  
 Checked by: C.P./C.C

SHEET NAME  
**BUILDING ELEVATIONS**

SHEET NUMBER  
**A-2.1**



**WEST ELEVATION.**  
 SCALE: 3/32" = 1'-0"  
**PROPOSED THREE STORY BUILDING**



**NORTH ELEVATION.**  
 SCALE: 3/32" = 1'-0"  
**PROPOSED THREE STORY BUILDING**

| ELEVATION LEGEND |   |
|------------------|---|
| 1                | TEXTURED STUCCO FINISH (PAINTED)  |
| 2                | ALUMINUM WINDOWS / DOORS  |
| 3                | TEXTURED STUCCO FINISH TO BE MOLDED AND FINISHED TO IMITATE WOOD SIDING |
| 4                | SMOOTH STUCCO FINISH WITH 1/8" SCORE LINE                               |
| 5                | ALUMINUM RAILINGS.  |
| 6                | SMOOTH FINISH STUCCO BAND   |
| 7                | DECORATIVE METAL AWNINGS (WHERE SHOWN)                                  |
| 8                | STANDING SEAM METAL ROOF (WHERE SHOWN)                                  |



**WEST ELEVATION.**  
SCALE: NTS  
**PROPOSED THREE STORY BUILDING**



**RETAIL / OUTDOOR DINING AREA.**



**COVERED BUILDING CONNECTION.**

|  |  |
|--|--|
| SW 6170<br><b>Techno Gray</b><br>ColorSnap Studio<br>Número de localizador: 211-C2 | SW 7007<br><b>Ceiling Bright White</b><br>ColorSnap Studio<br>Número de localizador: 257-C2  |
| SW 9638<br><b>Breakwater</b><br>ColorSnap Studio                                   | SW 7757<br><b>High Reflective White</b><br>ColorSnap Studio<br>Número de localizador: 256-C1 |
| SW 7551<br><b>Greek Villa</b><br>ColorSnap Studio<br>Número de localizador: 254-C1 |  |



**ELEVATION NOTES:**

- 1. ALL SIGNS BY SEPARATE PERMIT.
- SEC. 24-79 - PAINT COLORS
- 2. (A) ALL BUILDINGS LOCATED IN COMMERCIAL ZONING DISTRICTS (B-1, B-2, B-3, B-4, B-5 AND FCC ARE REQUIRED TO OBTAIN A PERMIT TO PAINT BUILDING EXTERIORS. ALLOWABLE PAINT COLORS ARE AS FOLLOWS:  
(1) BASE: MUST HAVE A LIGHT REFLECTIVE VALUE (LRV) OF 35 OR GREATER.  
(2) TRIM: MAY BE ANY SOLID COLOR.  
ORD.NO. 2012-34, 3, 1-2-13.)



08-05-2021  
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AR - 0013079

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15801 BISCAYNE BOULEVARD  
NORTH MIAMI BEACH, FLORIDA 33160

Job Number: 21007.01  
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SHEET NAME  
**COLOR ELEVATIONS**

SHEET NUMBER  
**A-2.2**



09-26-2021  
 Carlos Pizarro, R.A.  
 AR - 0013079

Revisions:  
 04/01/22 TRAD COMMENTS  
 09/26/22 TRAD COMMENTS

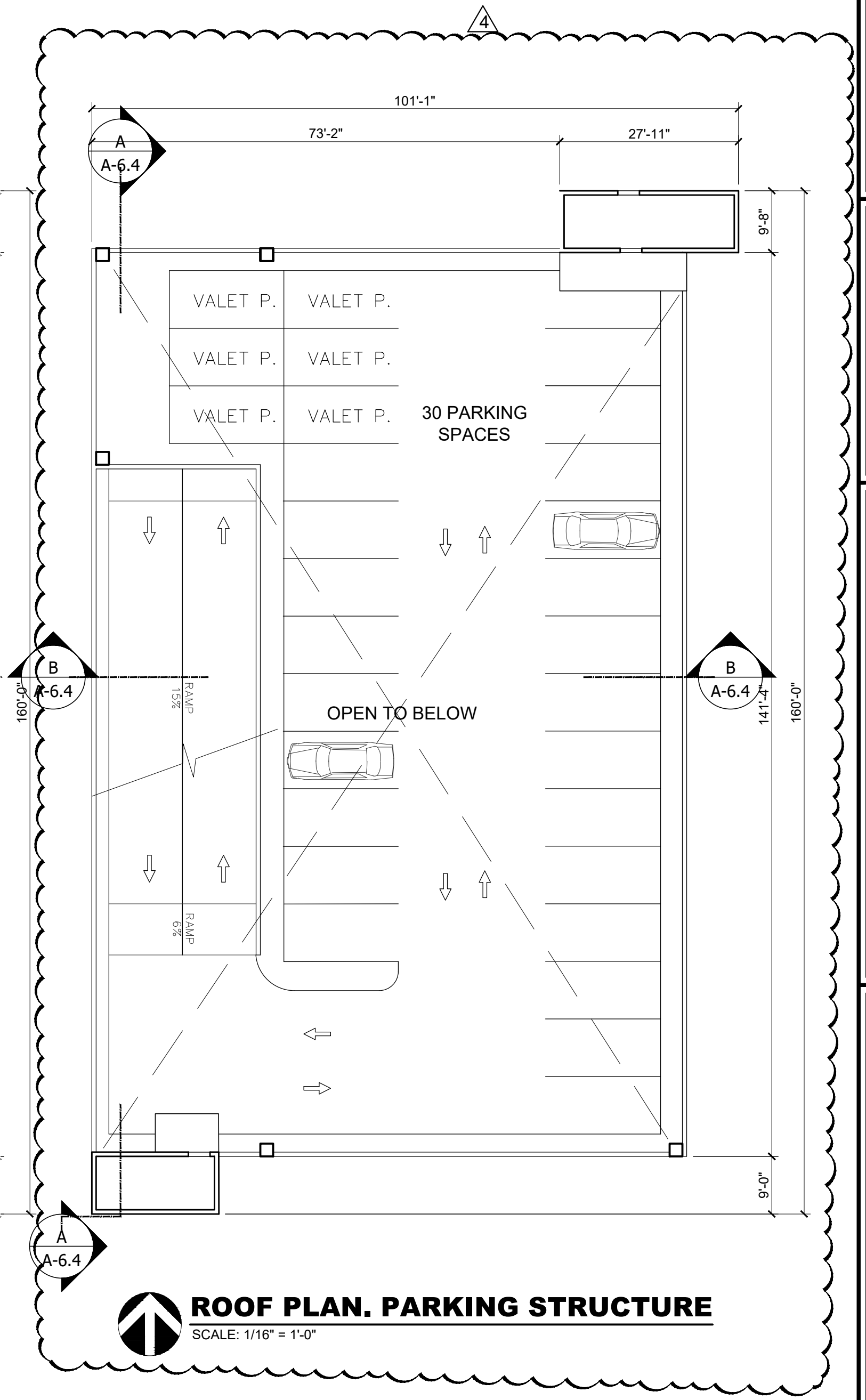
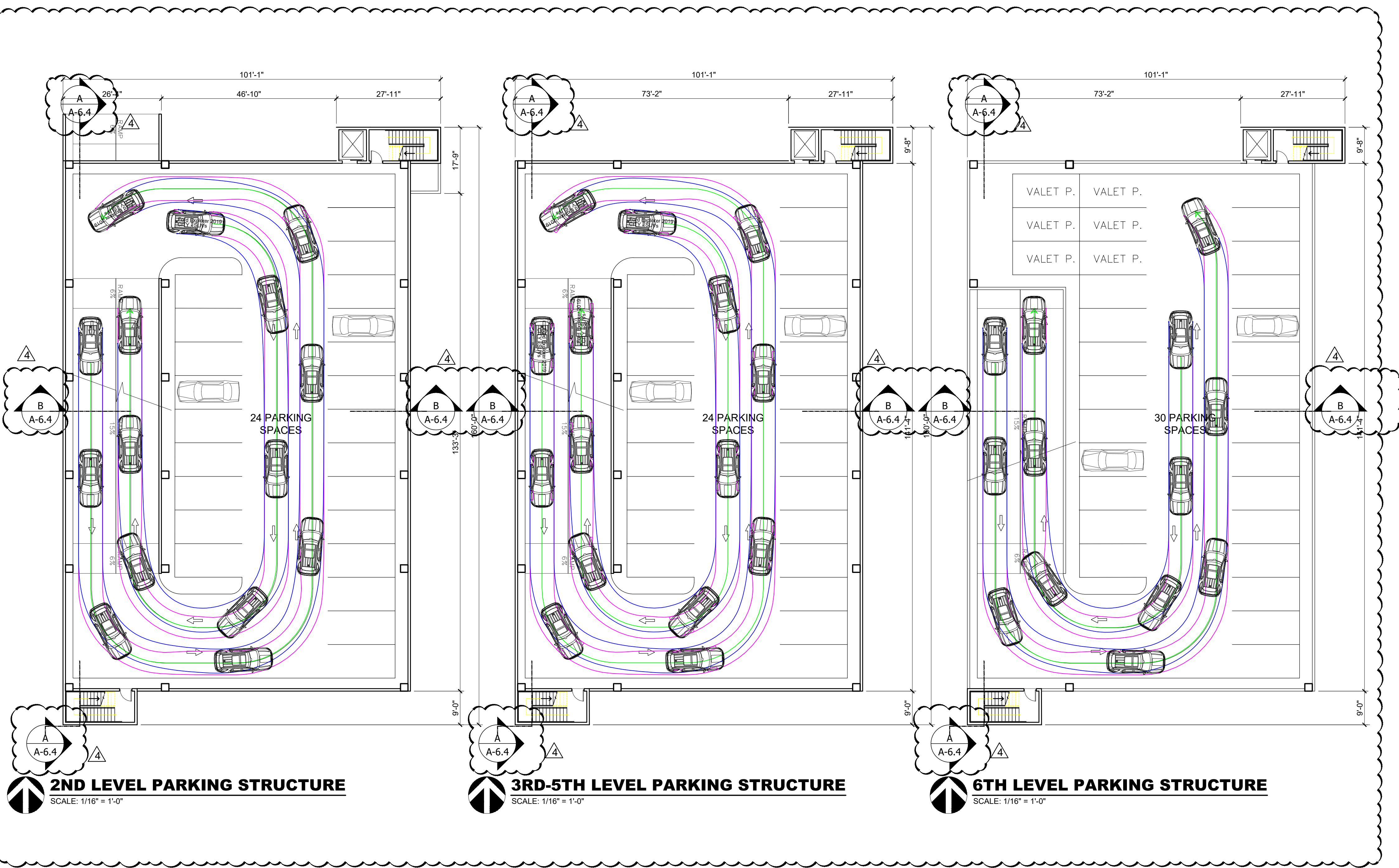
OWNER/DEVELOPER:  
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Job Number: 21007.01  
 File Name:  
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SHEET NAME  
**PARKING STRUCTURE FLOOR PLANS**

SHEET NUMBER  
**A-3.0**



**2ND LEVEL PARKING STRUCTURE**  
 SCALE: 1/16" = 1'-0"

**3RD-5TH LEVEL PARKING STRUCTURE**  
 SCALE: 1/16" = 1'-0"

**6TH LEVEL PARKING STRUCTURE**  
 SCALE: 1/16" = 1'-0"

**ROOF PLAN. PARKING STRUCTURE**  
 SCALE: 1/16" = 1'-0"



08-05-2021  
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 AR - 0013079

Revisions:  
 10/29/21 TRAD COMMENTS

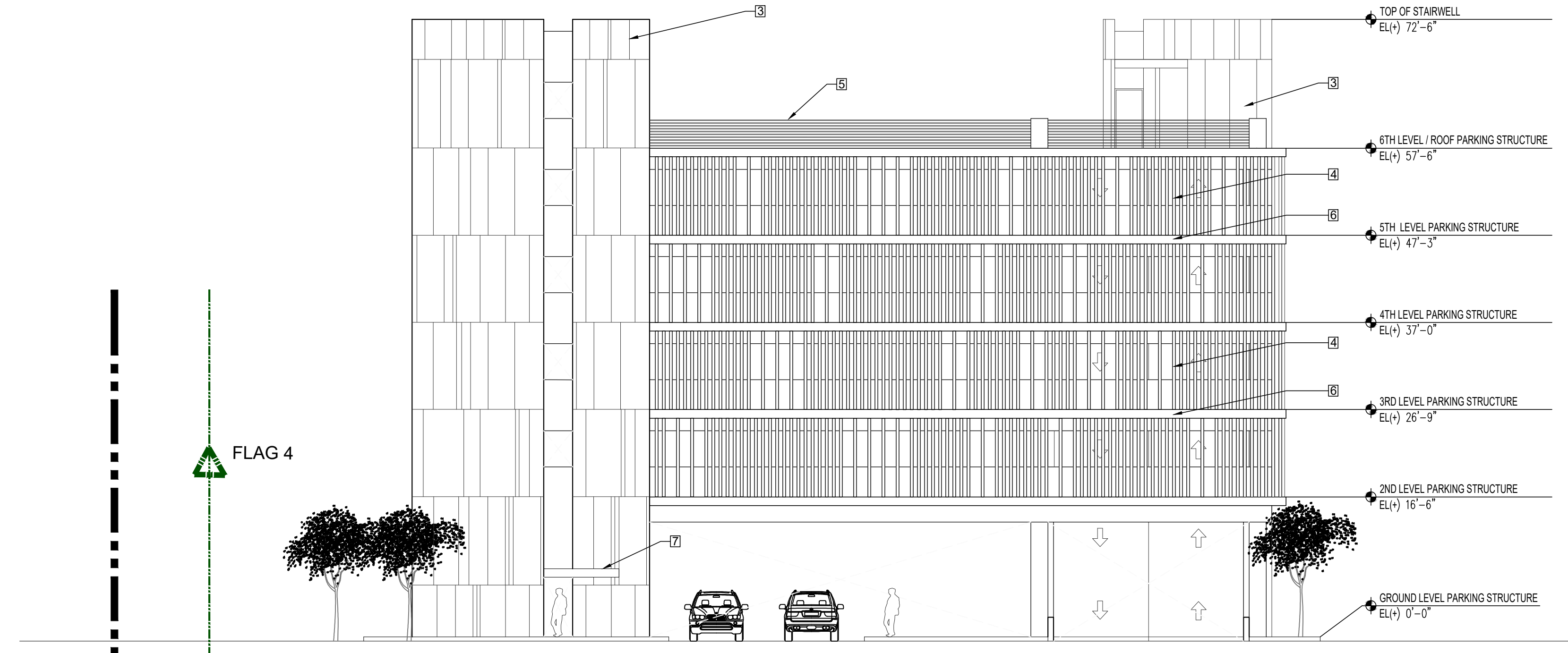
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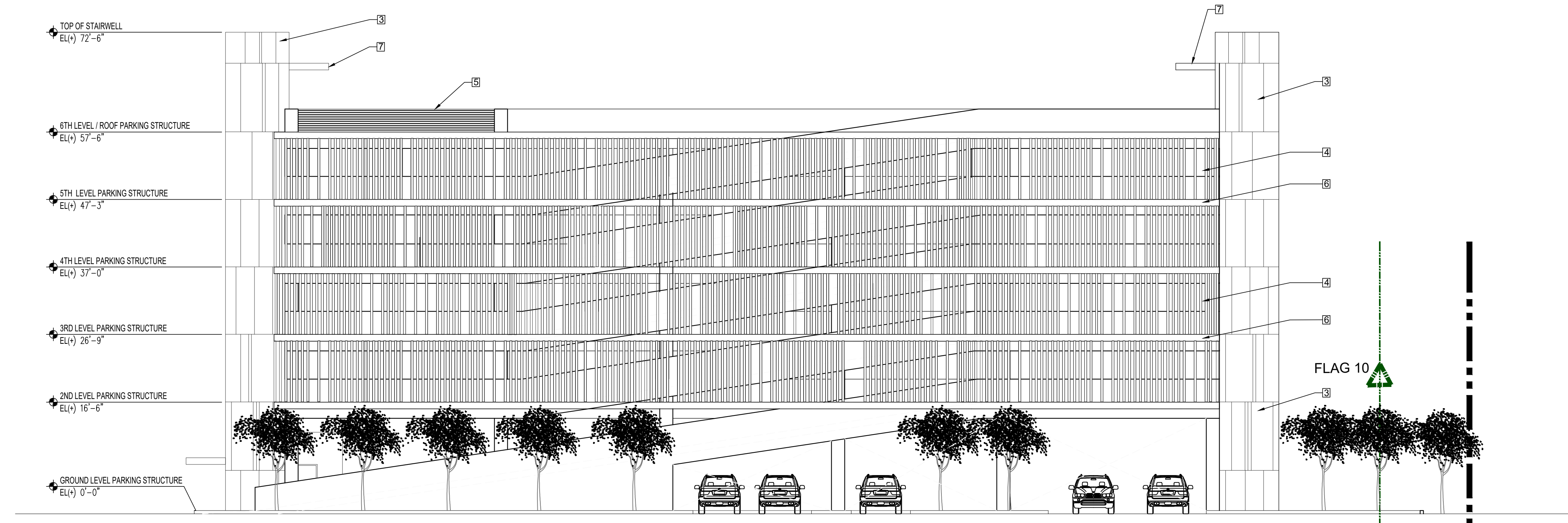
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 Issued Date:  
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SHEET NAME  
**PARKING STRUCTURE ELEVATIONS**

SHEET NUMBER  
**A-4.0**



**NORTH ELEVATION.**  
 SCALE: 3/32" = 1'-0"  
**PARKING STRUCTURE.**



**WEST ELEVATION.**  
 SCALE: 3/32" = 1'-0"  
**PARKING STRUCTURE.**

| ELEVATION LEGEND |  |
|------------------|--|
| 1                | TEXTURED STUCCO FINISH (PAINTED)                                     |
| 2                | METAL DOORS ELECTROSTATICALLY PAINTED (TYP.)                         |
| 3                | PRE-FABRICATED FIBER CEMENT PANEL OVER FINISHED STUCCO & PAINTED     |
| 4                | DECORATIVE METAL SKIN WITH 4" X 6" X 9' TUBES RANDOMLY SPACED (TYP.) |
| 5                | ALUMINUM RAILINGS.   |
| 6                | SMOOTH FINISH STUCCO BAND  |
| 7                | DECORATIVE METAL AWNINGS (WHERE SHOWN)                               |







08-05-2021  
**Carlos Pizarro, R.A.**  
 AR - 0013079

Revisions:

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|----------|---------------|
| 10/29/21 | TRAD COMMENTS |
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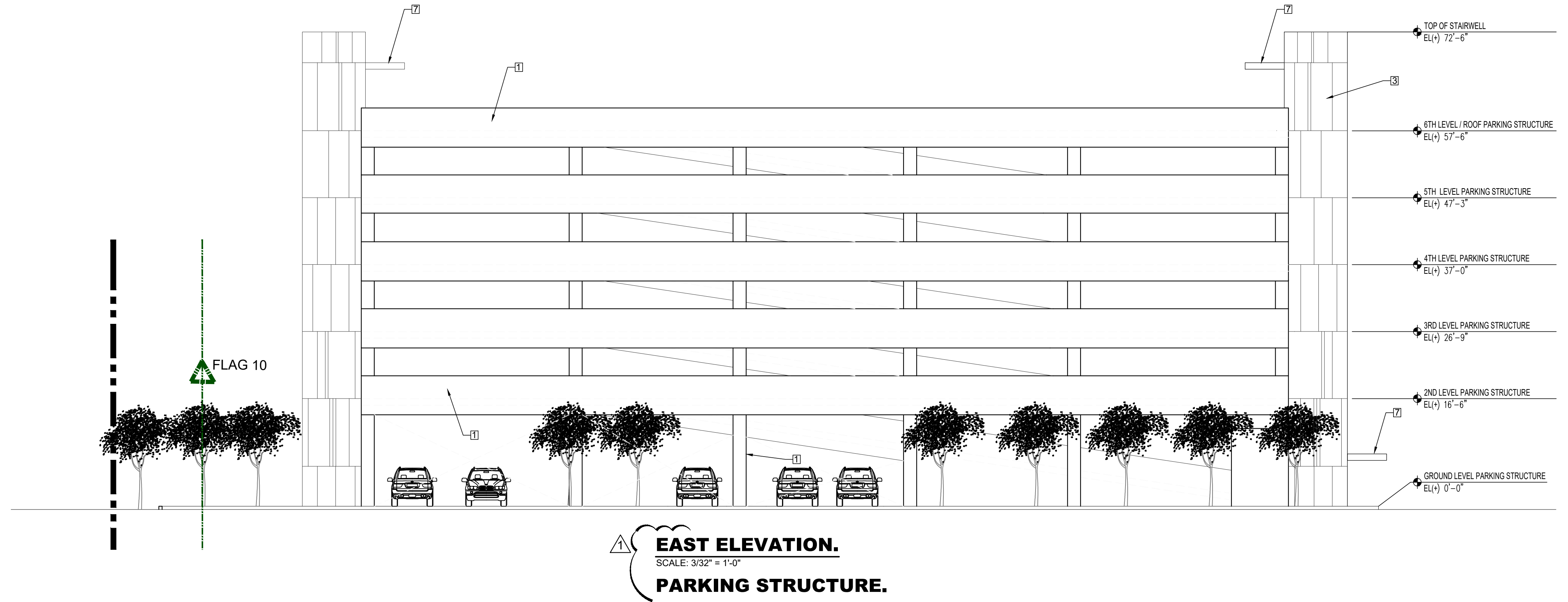
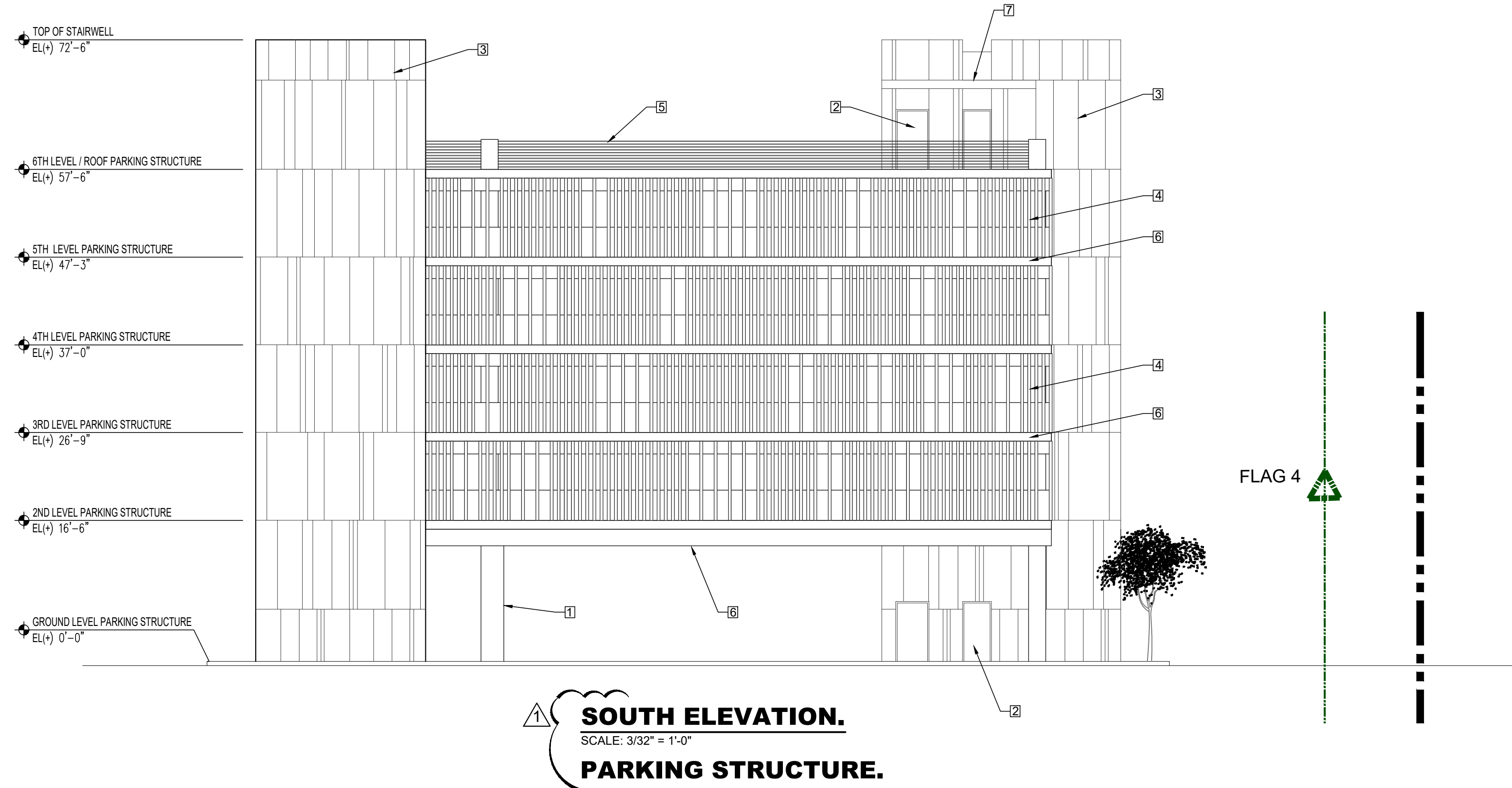
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SHEET NAME  
**PARKING STRUCTURE ELEVATIONS**

SHEET NUMBER  
**A-4.1**



**ELEVATION LEGEND**

|   |  |
|---|--|
| 1 | TEXTURED STUCCO FINISH (PAINTED)                                     |
| 2 | METAL DOORS ELECTROSTATICALLY PAINTED (TYP.)                         |
| 3 | PRE-FABRICATED FIBER CEMENT PANEL OVER FINISHED STUCCO & PAINTED     |
| 4 | DECORATIVE METAL SKIN WITH 4" X 6" X 9" TUBES RANDOMLY SPACED (TYP.) |
| 5 | ALUMINUM RAILINGS.   |
| 6 | SMOOTH FINISH STUCCO BAND  |
| 7 | DECORATIVE METAL AWNINGS (WHERE SHOWN)                               |



09-26-2021  
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 AR - 0013079

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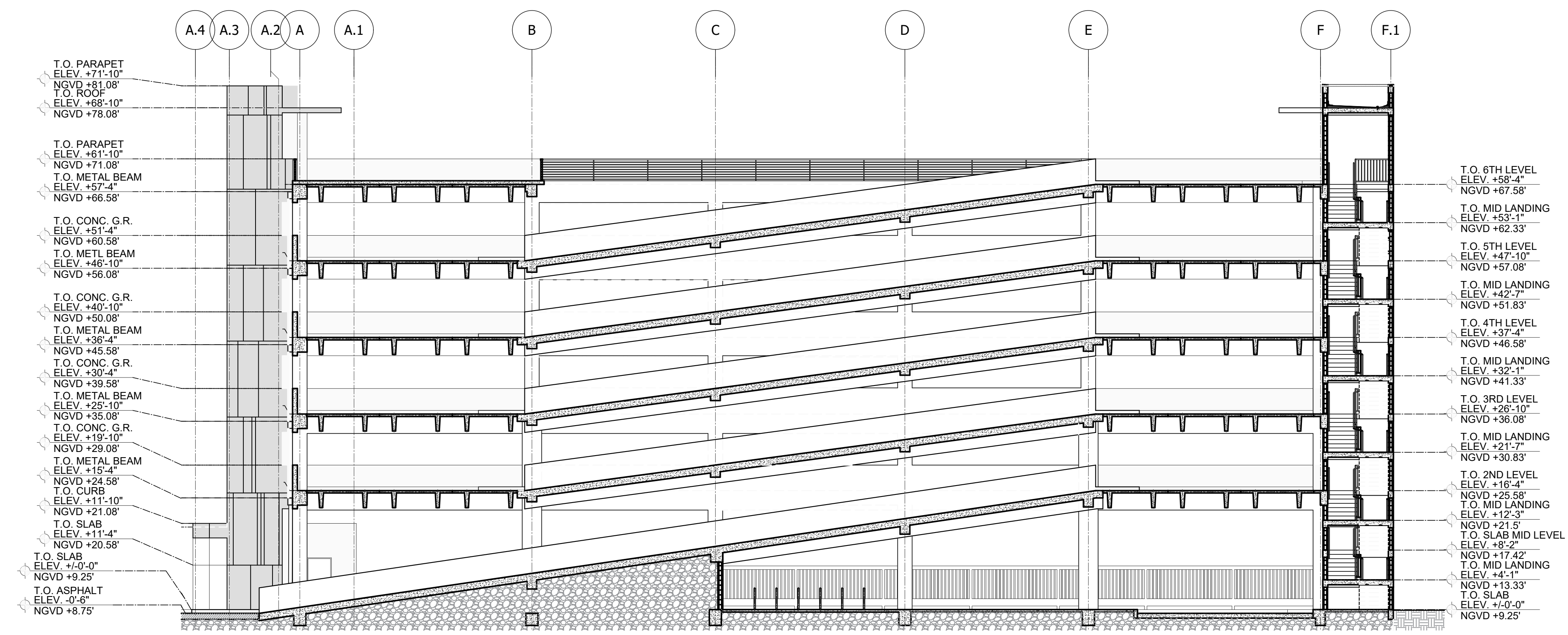
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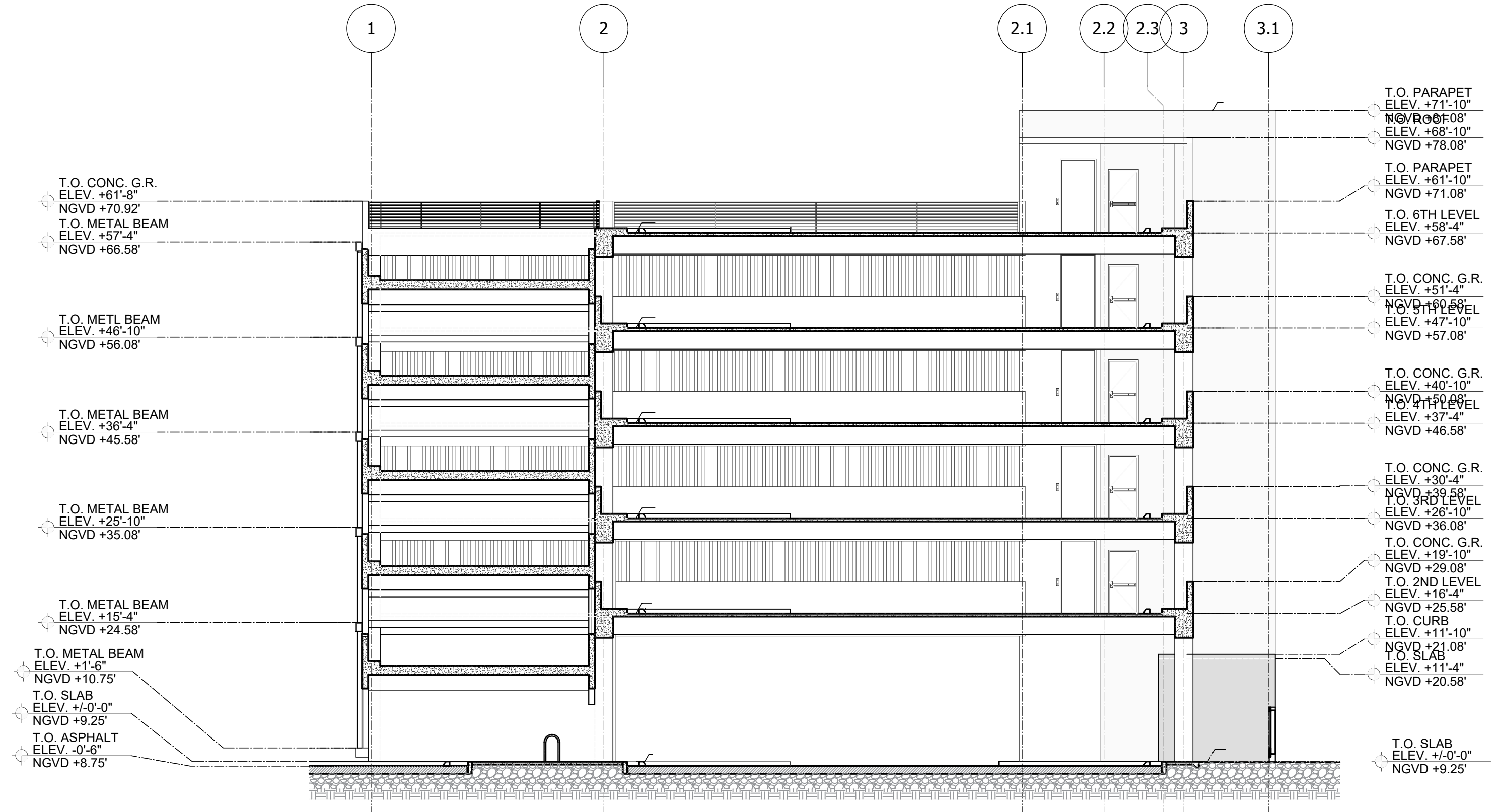
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 File Name:  
 Issued Date:  
 Drawn by: J.C.  
 Checked by: C.P./C.C

SHEET NAME  
**PARKING STRUCTURE SECTION**

SHEET NUMBER  
**A-5.0**



**AA BUILDING SECTION**  
 SCALE: 3/32" = 1'-0"



**BB BUILDING SECTION**  
 SCALE: 3/32" = 1'-0"



09-26-2021  
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Revisions:

|   |          |               |
|---|----------|---------------|
| Δ | 09/26/22 | TRAD COMMENTS |
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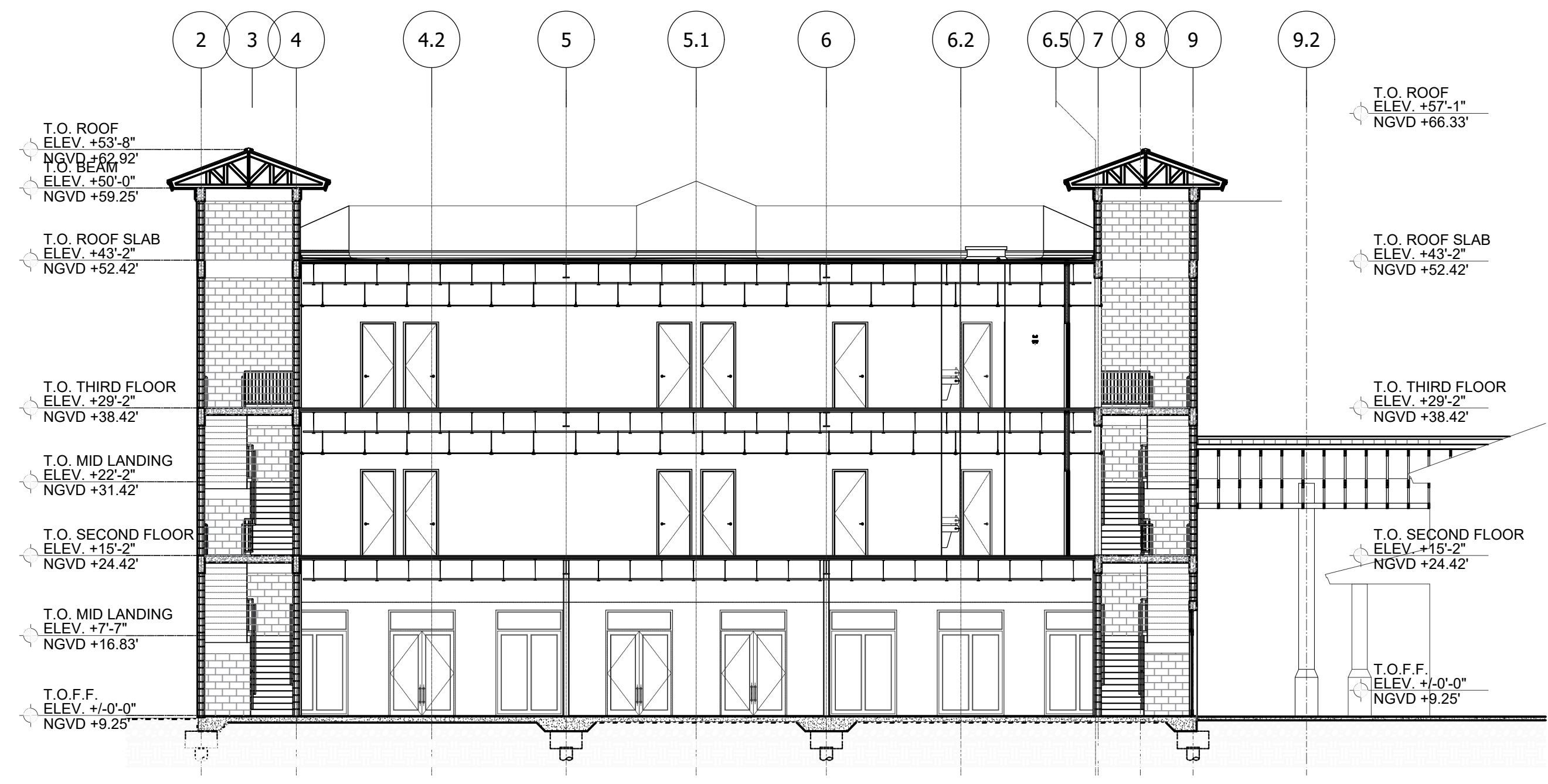
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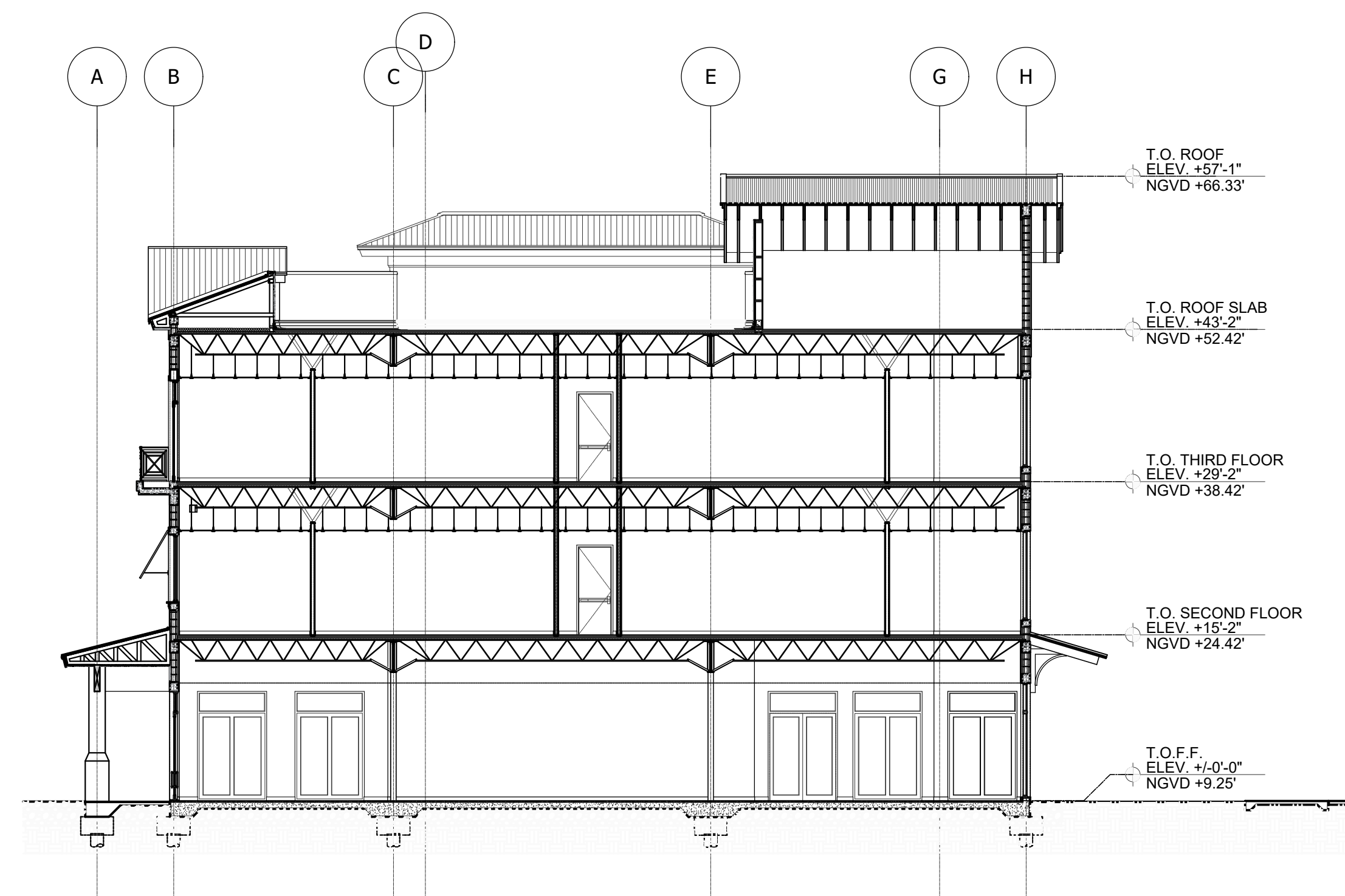
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 File Name:  
 Issued Date:  
 Drawn by: J.C.  
 Checked by: C.P./C.C.

SHEET NAME  
**BUILDING SECTION**

SHEET NUMBER  
**A-5.1**

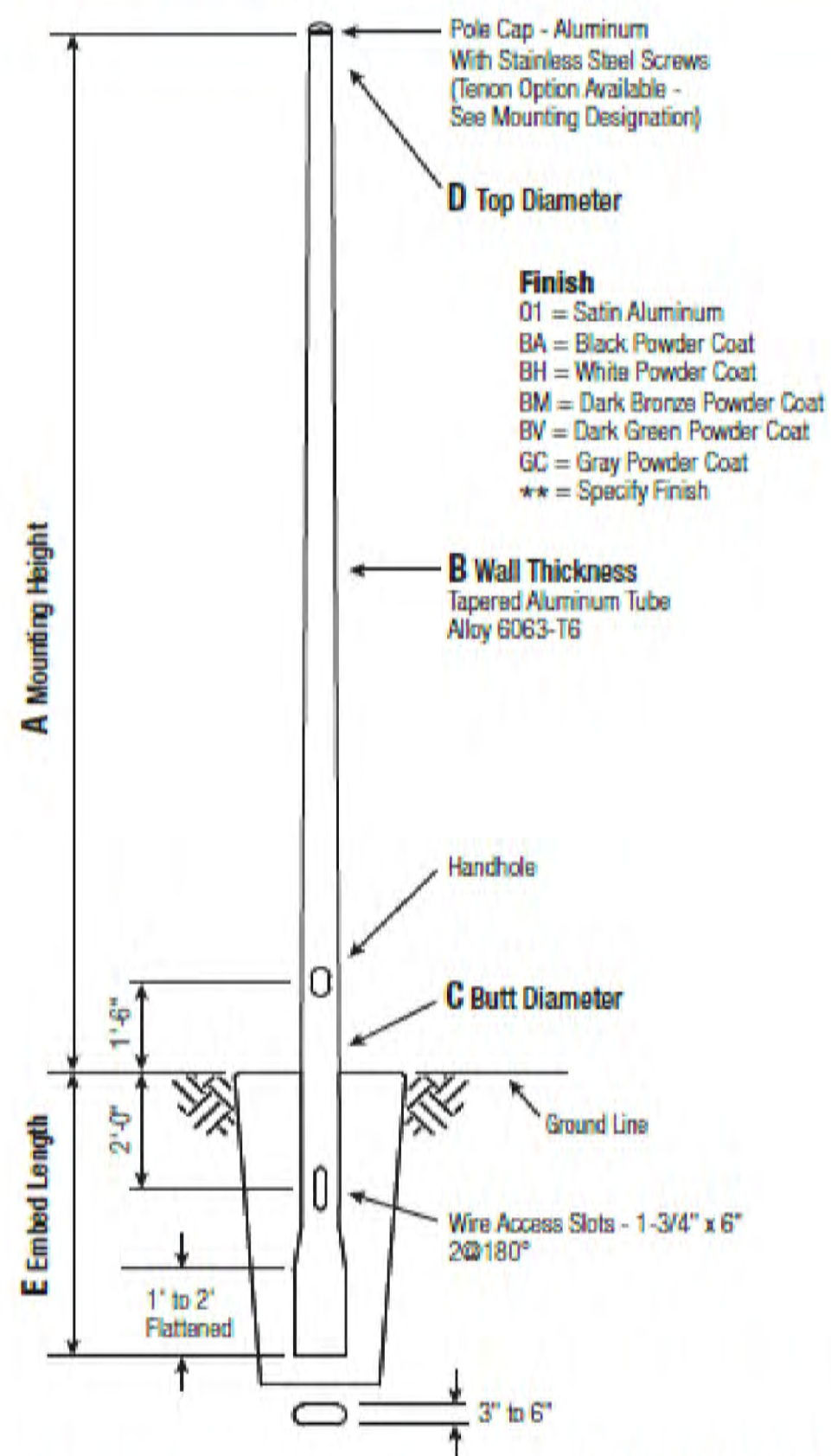


**AA BUILDING SECTION**  
 SCALE: 3/32" = 1'-0"



**BB BUILDING SECTION**  
 SCALE: 3/32" = 1'-0"

**RTA** Round Tapered Aluminum Pole  
No Arm — Direct Buried



**Finish**  
 D1 = Satin Aluminum  
 BA = Black Powder Coat  
 BH = White Powder Coat  
 BM = Dark Bronze Powder Coat  
 BV = Dark Green Powder Coat  
 GC = Gray Powder Coat  
 \*\* = Specify Finish

**WARNING:** Do not install light pole without luminaires. Satin Aluminum or Powder Coated Finish per Customer Specification.

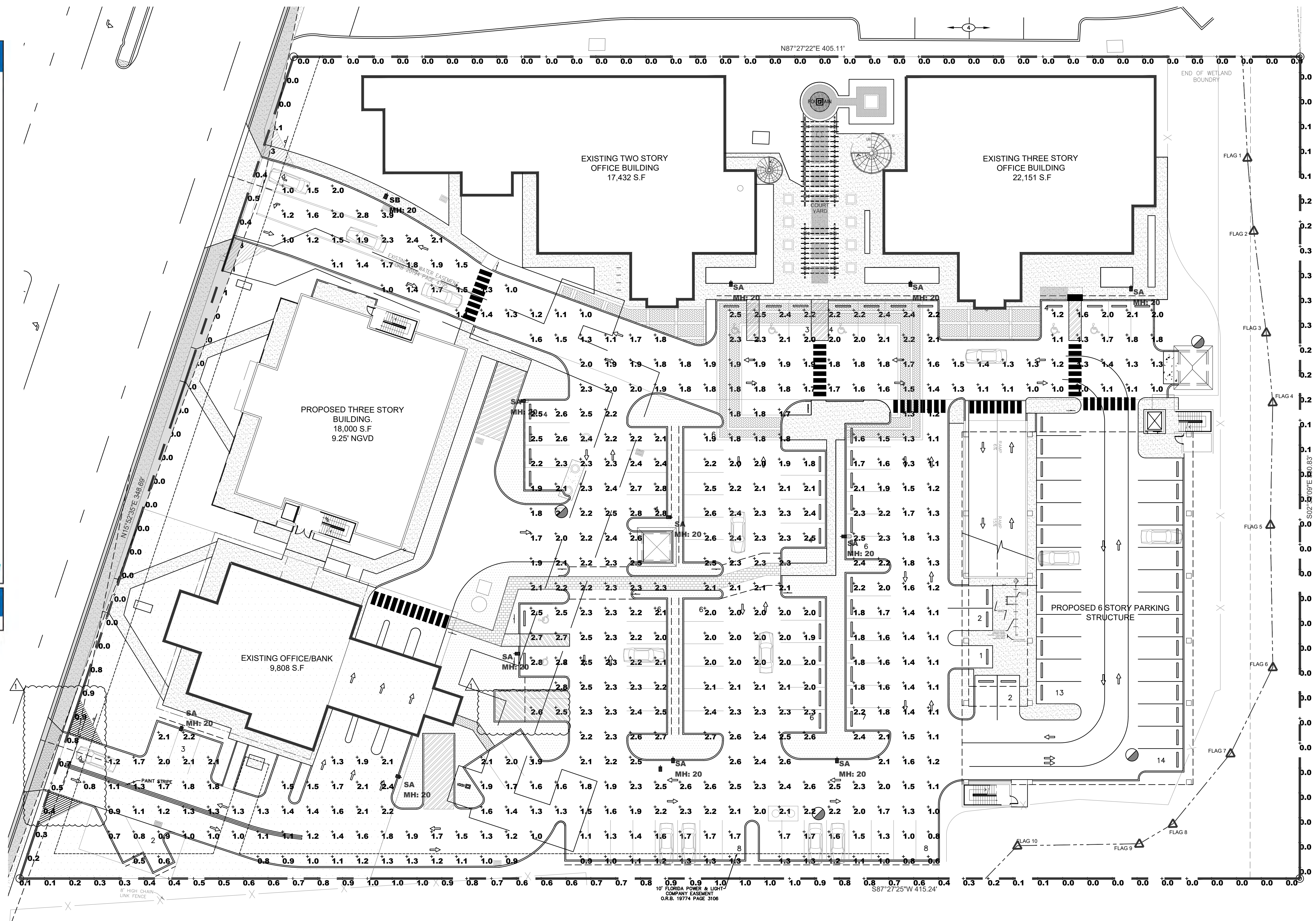
| A  | B      | C | Total Lum. Wt. | Max. Wind Sp. (mph) | Max. Wind Sp. (km/h) | Max. Wind Sp. (m/s) | Max. Wind Sp. (knots) | Max. Wind Sp. (mi/hr) | Max. Wind Sp. (ft/min) | Max. Wind Sp. (m/min) | Max. Wind Sp. (in/min) |
|----|--------|---|----------------|---------------------|----------------------|---------------------|-----------------------|-----------------------|------------------------|-----------------------|------------------------|
| 20 | 0.125" | 6 | 100            | 90                  | 143                  | 110                 | 120                   | 130                   | 140                    | 150                   | 160                    |

| C | D   | E  |
|---|-----|----|
| 6 | 4.5 | 4' |

**AT PARKING LOT**



**RSX1 LED**  
Area Luminaire



**Luminaire Schedule: BISCAIYNE OFFICE COMPLEX - SITE NORTH MIAMI BEACH, FL 10/05/2021**

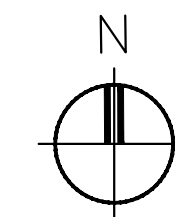
| Symbol | Q  | Label | Arrangement | Manufacturer      | Catalog Number     | Mounting          | LLF   | Luminaire Lumens | Luminaire Watts | Arrangement Watts |
|--------|----|-------|-------------|-------------------|--------------------|-------------------|-------|------------------|-----------------|-------------------|
| SA     | 11 | SA    | Single      | Lithonia Lighting | RSX1 LED P4 40K R5 | POLE MOUNT A.F.G. | 0.903 | 16793            | 133.14          | 133.14            |
| SB     | 1  | SB    | Single      | Lithonia Lighting | RSX1 LED P2 40K R3 | POLE MOUNT A.F.G. | 0.903 | 9843             | 72.95           | 72.95             |

**Calculation Summary: BISCAIYNE OFFICE COMPLEX - SITE NORTH MIAMI BEACH, FL 10/05/2021**

| Label         | Calc Type   | Units | Avg  | Max | Min | Avg/Min | Max/Min |
|---------------|-------------|-------|------|-----|-----|---------|---------|
| PARKING LOT   | Illuminance | Fc    | 1.82 | 3.9 | 0.5 | 3.64    | 7.80    |
| PROPERTY LINE | Illuminance | Fc    | 0.23 | 1.0 | 0.0 | N.A.    | N.A.    |

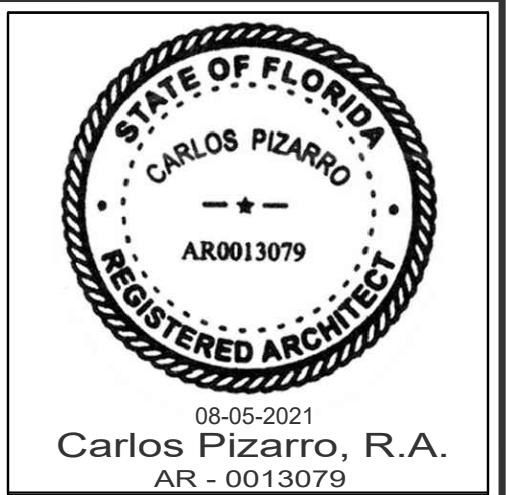
**PHOTOMETRIC PLAN**

SCALE: 3/64" = 1'-0"



**BUCHANAN P.E CONSULTING INC.**  
 ELECTRICAL \* MECHANICAL \* PLUMBING  
 ENGINEERING  
 6191 W. ATLANTIC BLVD, SUITE# 2 MARGATE, FL 33063  
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 CERTIFICATE OF AUTHORIZATION # 8842  
 RAJA BUCHANAN P.E # 48916

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 dinfo@dtarchitect.com  
 www.dtarchitect.com



Revisions:  
 1. CHANGED BACKGROUND 5-3-22

OWNER/DEVELOPER:  
**BISCAIYNE 18 DEVELOPMENT LLC**  
 15801 BISCAIYNE BOULEVARD SUITE 203  
 NORTH MIAMI BEACH, FLORIDA 33160

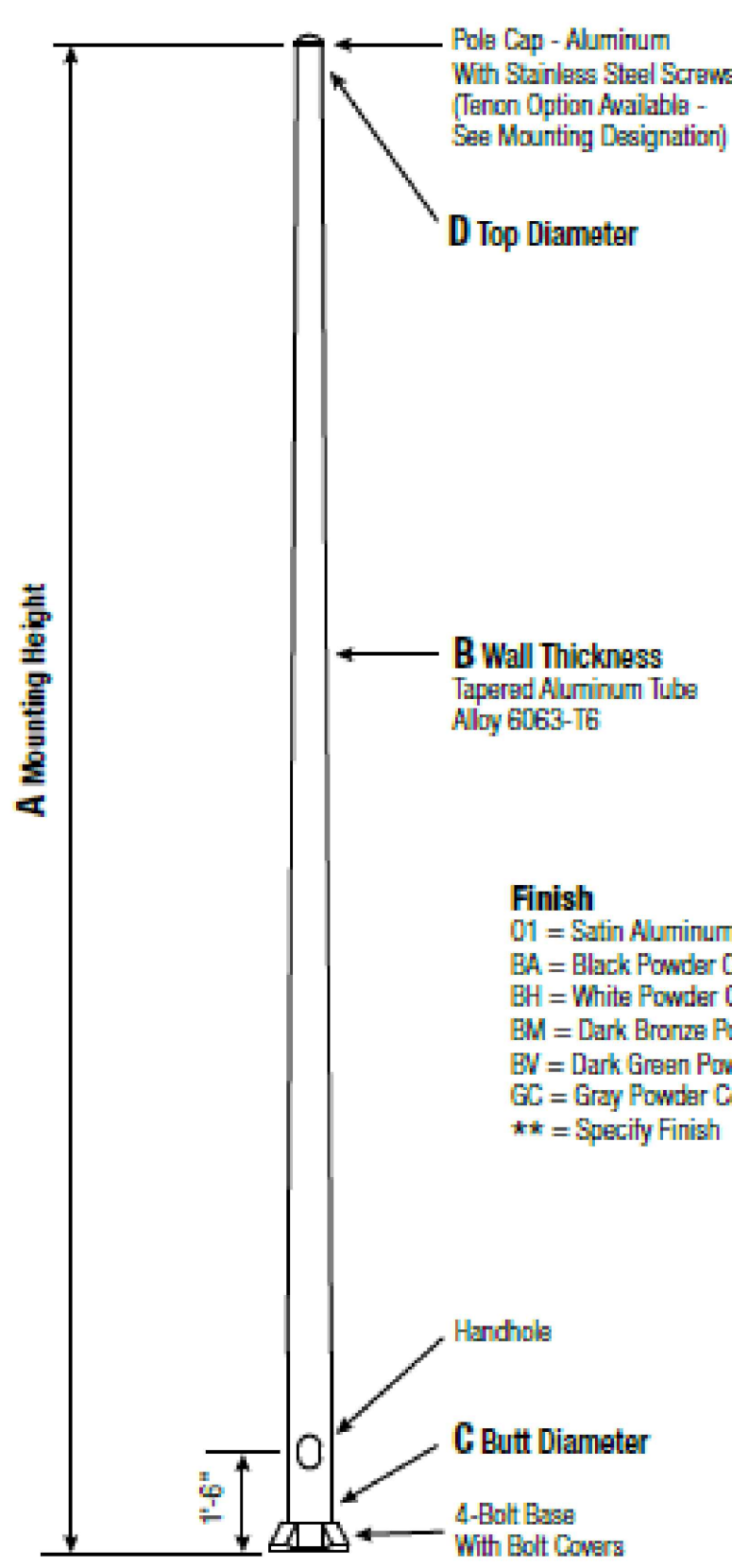
PROJECT:  
**PROPOSED 3 STORY OFFICE / RETAIL BUILDING & 6 STORY PARKING STRUCTURE AT BISCAIYNE OFFICE COMPLEX**  
 15801 BISCAIYNE BOULEVARD  
 NORTH MIAMI BEACH, FLORIDA 33160

Job Number: 21007.01  
 File Name:  
 Issued Date: 08-05-2021  
 Drawn by: J.C.  
 Checked by: C.P./C.C

SHEET NAME  
**PHOTOMETRIC PLAN  
 PARKING LOT**

SHEET NUMBER  
**PH-1**

**RTA** Round Tapered Aluminum Pole  
No Arm — 4-Bolt Base



**Finish**  
 O1 = Satin Aluminum  
 BA = Black Powder Coat  
 BH = White Powder Coat  
 BM = Dark Bronze Powder Coat  
 BV = Dark Green Powder Coat  
 GC = Gray Powder Coat  
 \*\* = Specify Finish

**WARNING:** Do not install light pole without luminaire. *Satin Aluminum or Powder Coated Finish per Customer Specification.*

| A   | B              | C             | TOTAL LUM. WEIGHT |     | MAXIMUM EPA |     |     | OLD CAL. NUMBER |  | CALCULATED NUMBER |              |
|-----|----------------|---------------|-------------------|-----|-------------|-----|-----|-----------------|--|-------------------|--------------|
| HT. | WALL THICKNESS | BUTT DIAMETER | 90                | 100 | 110         | 120 | 130 |                 |  |                   |              |
| 20  | 0.188"         | 5             | 55                | 8.4 | 6.2         | 5.6 | 4.2 | 3.2             |  |                   | RTA20D5A4-** |

| C         | D        | F               | G        | H          | I            |
|-----------|----------|-----------------|----------|------------|--------------|
| BUTT DIA. | TOP DIA. | BOLT CIRC. DIA. | BASE SQ. | BOLT PERI. | BOLT SIZE    |
| 5         | 3        | 7.5 - 8         | 7.5      | 2          | .75 x 17 x 3 |

**AT GARAGE ROOF**



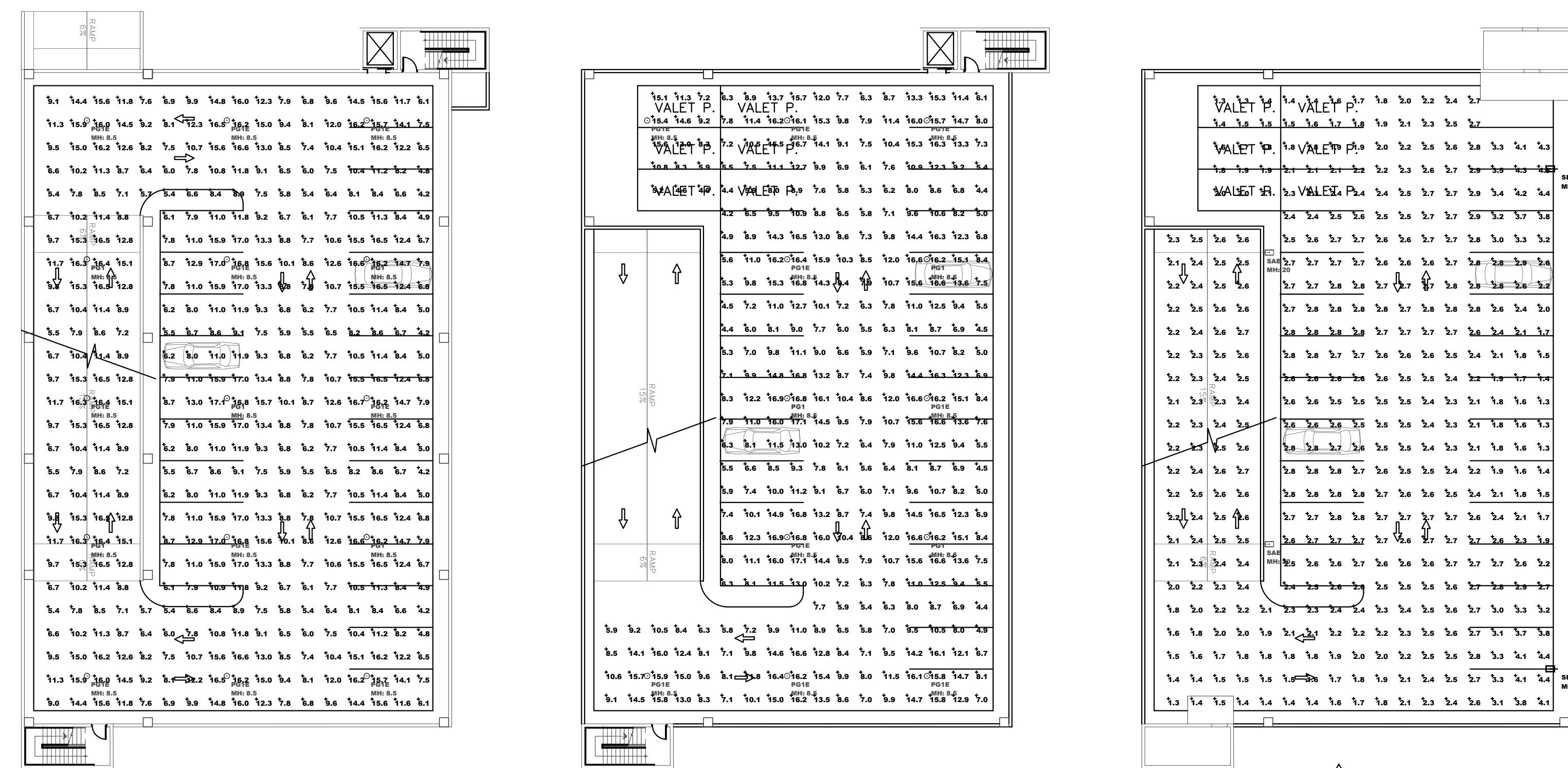
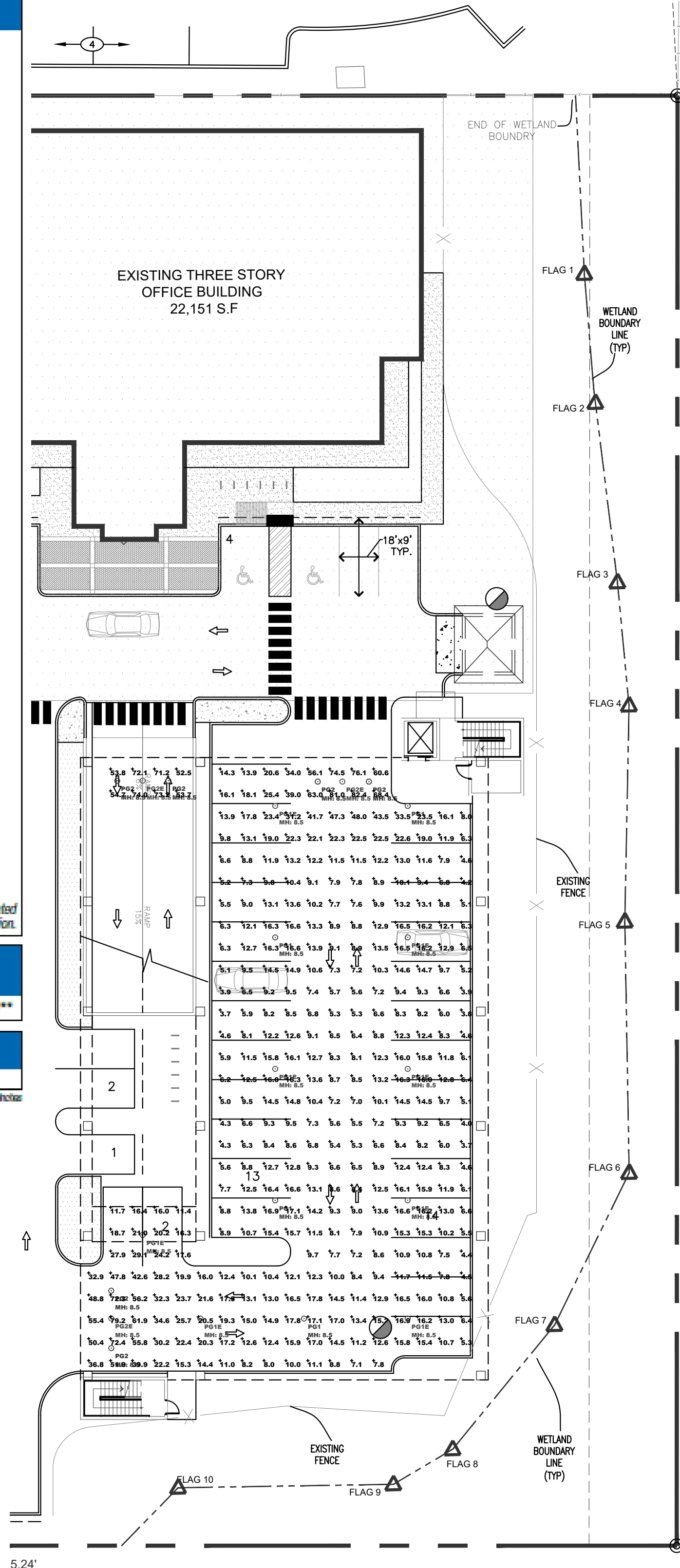
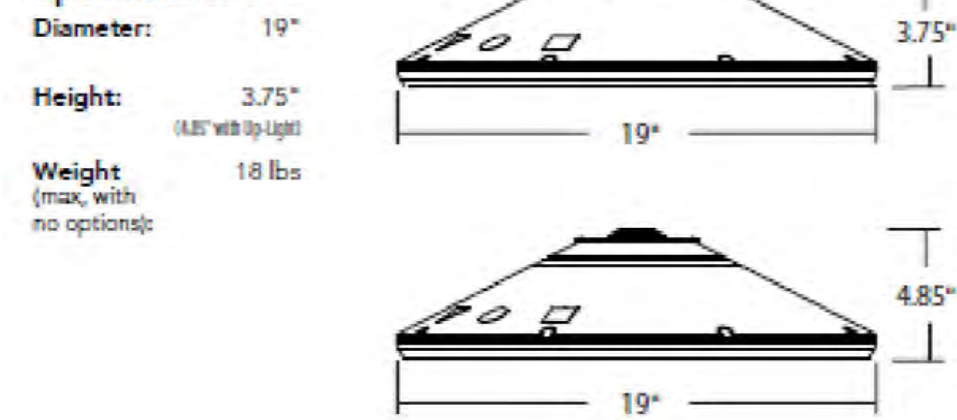
**RSX1 LED**  
Area Luminaire



**VCPG LED**  
Parking Garage



**Specifications**



**2nd TO 4th FLOOR 5th FLOOR ROOF**

Luminaire Schedule: BISCAYNE OFFICE COMPLEX - PARKING GARAGE REV 1 NORTH MIAMI BEACH, FL 03/21/2022

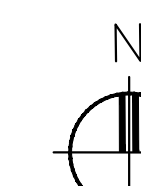
| Symbol | Qty | Label | Manufacturer      | Catalog Number                   | Mounting             | Emergency | LLF   | Luminaire Lumens | Luminaire Watts |
|--------|-----|-------|-------------------|----------------------------------|----------------------|-----------|-------|------------------|-----------------|
| ⊙      | 12  | P01   | Lithonia Lighting | VCPG LED P5 40K TSM INVOLT       | CEILING MOUNT A.F.F. |           | 0.855 | 10969            | 82.14           |
| ⊙      | 27  | P01E  | Lithonia Lighting | VCPG LED P5 40K TSM INVOLT E10WH | CEILING MOUNT A.F.F. | BATTERY   | 0.855 | 10969            | 82.14           |
| ⊙      | 6   | P02   | Lithonia Lighting | VCPG LED P6 40K TSE INVOLT       | CEILING MOUNT A.F.F. |           | 0.855 | 13719            | 107.69          |
| ⊙      | 3   | P02E  | Lithonia Lighting | VCPG LED P6 40K TSE INVOLT E10WH | CEILING MOUNT A.F.F. | BATTERY   | 0.855 | 13719            | 107.69          |
| ⊙      | 2   | SAE   | Lithonia Lighting | RSX1 LED P4 40K RS               | POLE MOUNT A.F.S.    | INVERTER  | 0.903 | 16793            | 133.14          |
| ⊙      | 2   | SB    | Lithonia Lighting | RSX1 LED P2 40K R3               | POLE MOUNT A.F.O.    |           | 0.903 | 9843             | 72.95           |

Calculation Summary: BISCAYNE OFFICE COMPLEX - PARKING GARAGE REV 1 NORTH MIAMI BEACH, FL 03/21/2022

| Label                                  | Calc Type   | Units | Avg   | Max  | Min  | Avg/Min | Max/Min |
|--|-------------|-------|-------|------|------|---------|---------|
| ROOF TOP PARKING LOT                   | Illuminance | Fc    | 2.42  | 4.6  | 1.3  | 1.86    | 3.54    |
| 1ST FLOOR ENTRANCE BOTTOM LEFT         | Illuminance | Fc    | 53.82 | 79.2 | 32.9 | 1.63    | 2.41    |
| 1ST FLOOR ENTRANCE TOP LEFT            | Illuminance | Fc    | 63.15 | 74.0 | 52.5 | 1.20    | 1.41    |
| 1ST FLOOR ENTRANCE TOP RIGHT           | Illuminance | Fc    | 70.26 | 82.4 | 56.1 | 1.26    | 1.47    |
| 1ST FLOOR TRAFFIC LANES                | Illuminance | Fc    | 13.07 | 48.0 | 5.3  | 2.47    | 9.06    |
| 1ST FLOOR VEHICLE PARKING AREA         | Illuminance | Fc    | 12.06 | 38.0 | 3.7  | 3.26    | 10.54   |
| 2ND TO 5TH FLOOR TRAFFIC LANES         | Illuminance | Fc    | 10.46 | 16.7 | 5.4  | 1.94    | 3.09    |
| 2ND TO 5TH FLOOR VEHICLE STORAGE AREAS | Illuminance | Fc    | 10.97 | 17.1 | 4.2  | 2.62    | 4.07    |
| 6TH FLOOR TRAFFIC LANES                | Illuminance | Fc    | 10.07 | 16.6 | 5.3  | 1.90    | 3.13    |
| 6TH FLOOR VEHICLE PARKING AREAS        | Illuminance | Fc    | 10.83 | 17.1 | 4.0  | 2.71    | 4.28    |

**PHOTOMETRIC PLAN PARKING GARAGE**

SCALE: 3/64" = 1'-0"



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**STATE OF FLORIDA**  
 CARLOS PIZARRO  
 REGISTERED ARCHITECT  
 AR0013079  
 08-05-2021  
 Carlos Pizarro, R.A.  
 AR - 0013079

Revisions:  
 CITY COMMENTS 03-24-22  
 COORDINATION 5-3-22

OWNER/DEVELOPER:  
**BISCAYNE 18 DEVELOPMENT LLC**  
 15801 BISCAYNE BOULEVARD SUITE 203  
 NORTH MIAMI BEACH, FLORIDA 33160

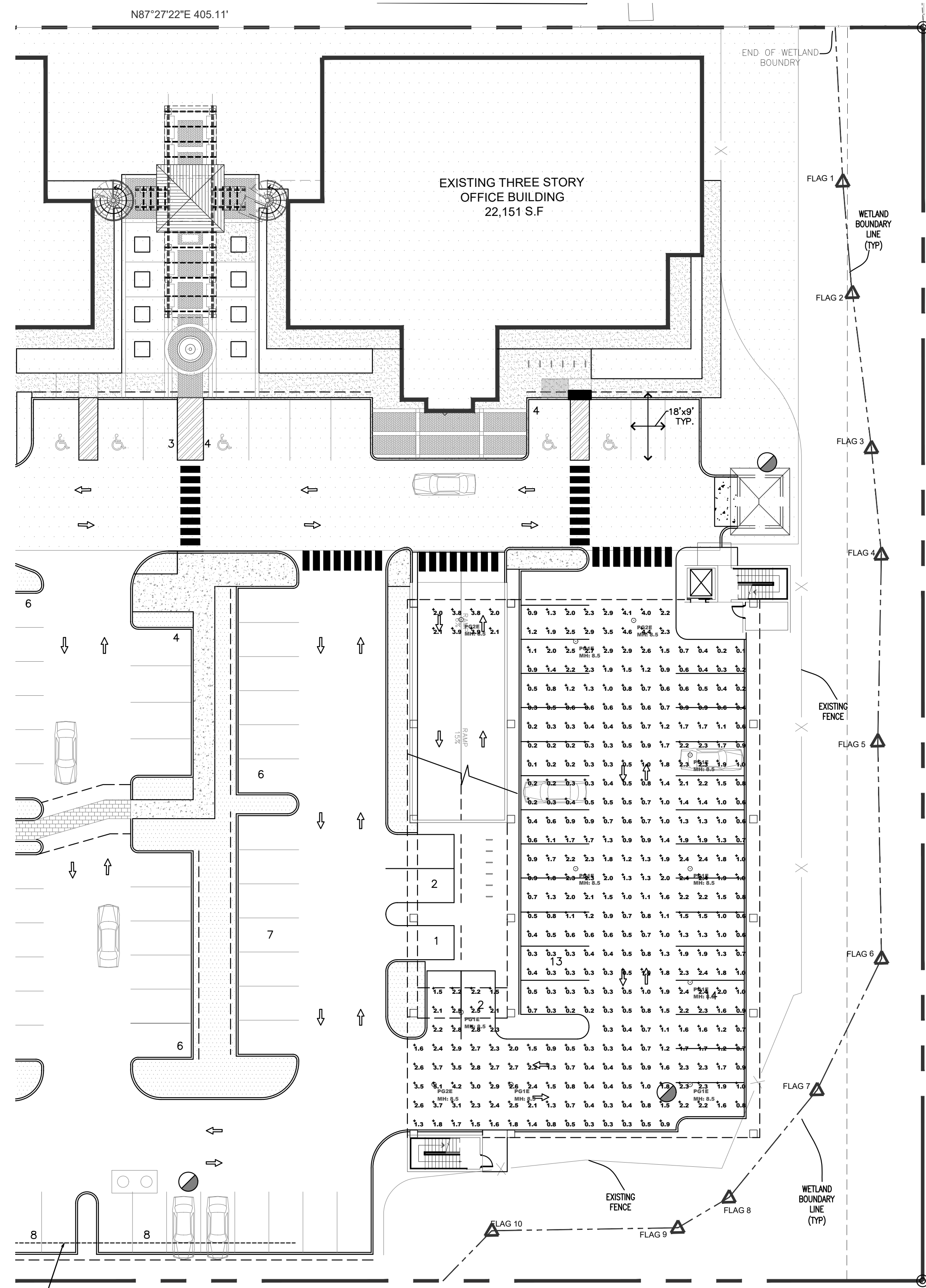
PROJECT:  
 PROPOSED 3 STORY OFFICE /  
 RETAIL BUILDING  
 & 6 STORY PARKING STRUCTURE  
 AT BISCAYNE OFFICE COMPLEX  
 15801 BISCAYNE BOULEVARD  
 NORTH MIAMI BEACH, FLORIDA 33160

Job Number: 21007.01  
 File Name:  
 Issued Date: 08-05-2021  
 Drawn by: J.C.  
 Checked by: C.P./C.C

SHEET NAME  
**PHOTOMETRIC PLAN GARAGE**

SHEET NUMBER  
**PH-2**

**BUCHANAN P.E CONSULTING INC.**  
 ELECTRICAL \* MECHANICAL \* PLUMBING  
 ENGINEERING  
 6191 W. ATLANTIC BLVD, SUITE# 2 MARGATE, FL 33063  
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 Email: BUCHANAN@MEPEENGINEERS.COM  
 CERTIFICATE OF AUTHORIZATION # 8842  
 RAJA BUCHANAN P.E # 48916



EXISTING THREE STORY OFFICE BUILDING  
22,151 S.F.

EXISTING FENCE

WETLAND BOUNDARY LINE (TYP)

FLAG 1

FLAG 2

FLAG 3

FLAG 4

FLAG 5

FLAG 6

FLAG 7

FLAG 8

FLAG 9

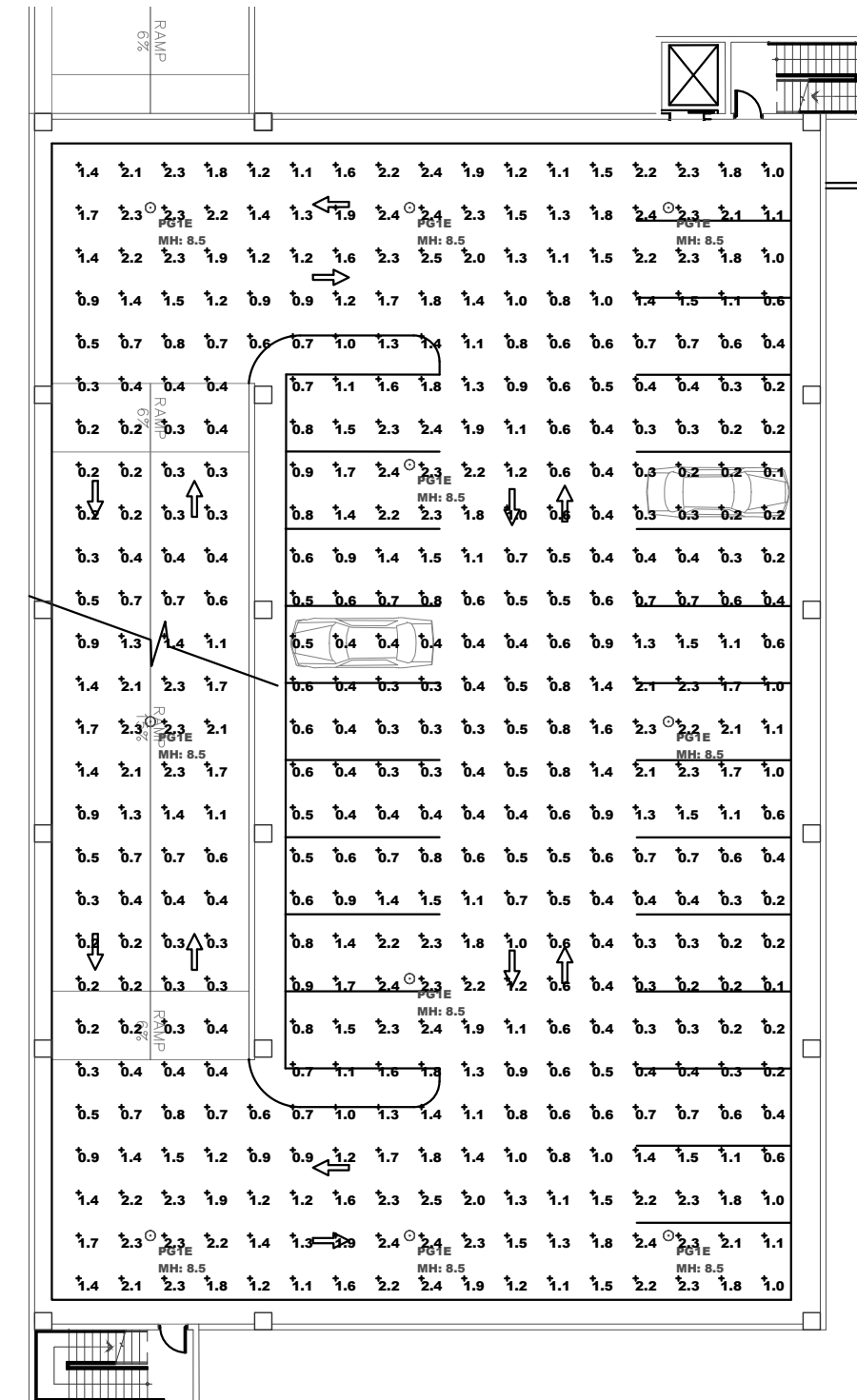
FLAG 10

18'x9' TYP.

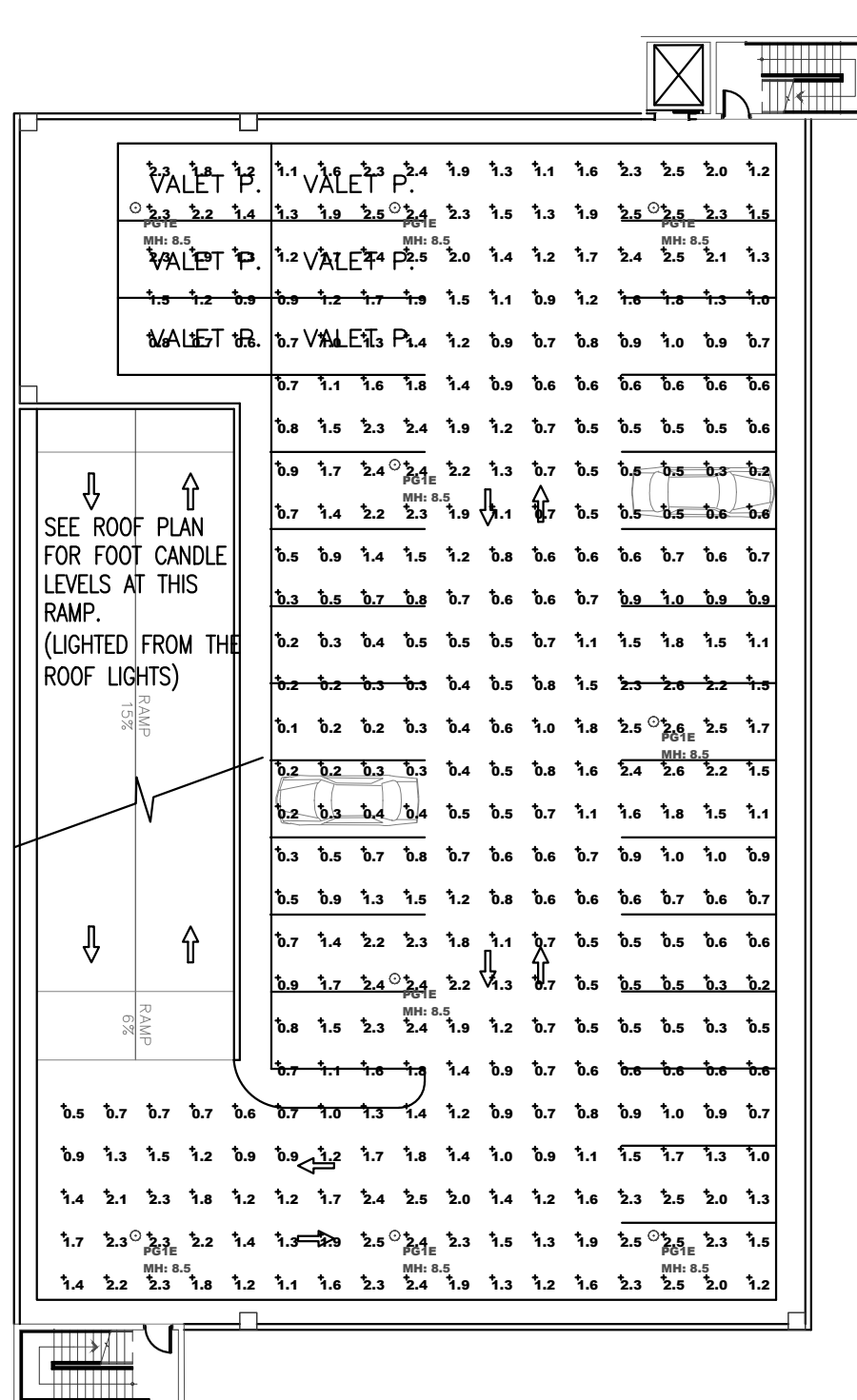
3 LIGHT ENT 3106

S87°27'25\"/>

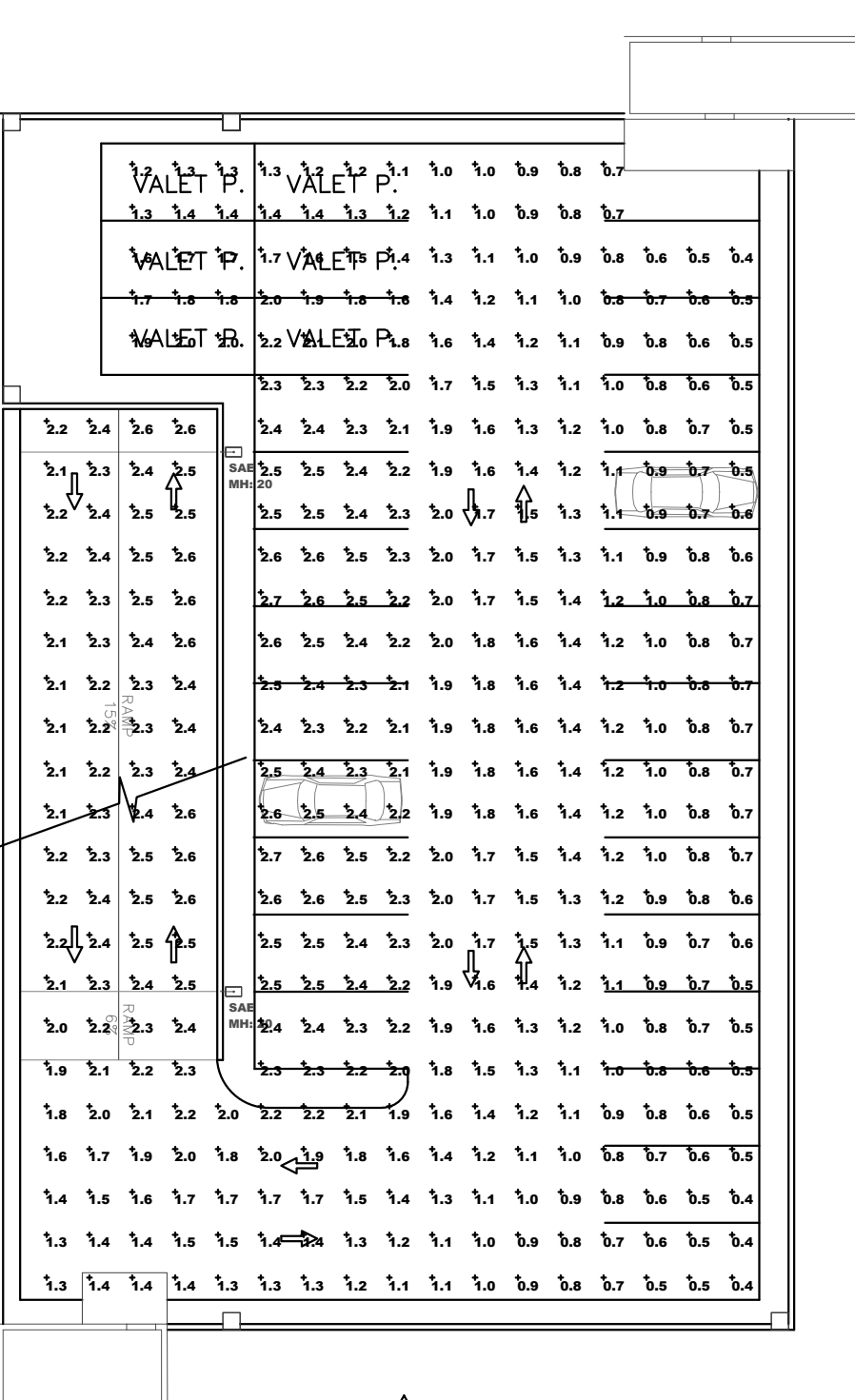
LIGHTS WITH BATTERY BACKUP POWER



2nd TO 4th FLOOR



5th FLOOR



ROOF

Luminaire Schedule: BISCAYNE OFFICE COMPLEX - PARKING GARAGE NORTH MIAMI BEACH, FL 11/04/2021

Scene: EMERGENCY

| Symbol | Qty | Label | Manufacturer      | Catalog Number                  | Mounting             | Emergency | LF    | Luminaire Lumens | Luminaire Watts |
|--------|-----|-------|-------------------|---------------------------------|----------------------|-----------|-------|------------------|-----------------|
| ○      | 27  | PG2E  | Lithonia Lighting | VCPG LED P5 40K T5M MVOLT E10WH | CEILING MOUNT A.F.F. | BATTERY   | 0.855 | 10980            | 82.14           |
| ○      | 3   | PG2E  | Lithonia Lighting | VCPG LED P6 40K T5E MVOLT E10WH | CEILING MOUNT A.F.F. | BATTERY   | 0.855 | 13719            | 107.69          |
| □      | 2   | SAE   | Lithonia Lighting | RX1 LED P4 40K R5               | POLE MOUNT A.F.G.    | INVERTER  | 0.903 | 16793            | 133.14          |

LIGHTS WITH BATTERY BACKUP POWER BUILT IN.

Calculation Summary: BISCAYNE OFFICE COMPLEX - PARKING GARAGE NORTH MIAMI BEACH, FL 11/04/2021

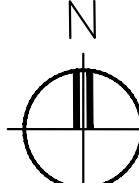
Scene: EMERGENCY

| Label                                  | Calc Type   | Units | Avg  | Max | Min | ArgMin | MaxMin |
|--|-------------|-------|------|-----|-----|--------|--------|
| 1ST FLOOR ENTRANCE BOTTOM LEFT         | Illuminance | Fc    | 2.91 | 5.1 | 1.3 | 2.34   | 3.92   |
| 1ST FLOOR ENTRANCE TOP LEFT            | Illuminance | Fc    | 2.95 | 3.9 | 2.0 | 1.48   | 1.95   |
| 1ST FLOOR ENTRANCE TOP RIGHT           | Illuminance | Fc    | 3.50 | 4.5 | 2.2 | 1.89   | 2.09   |
| 1ST FLOOR TRAFFIC LANES                | Illuminance | Fc    | 1.12 | 3.0 | 0.3 | 3.73   | 10.00  |
| 1ST FLOOR VEHICLE PARKING AREA         | Illuminance | Fc    | 1.23 | 2.9 | 0.1 | 12.30  | 29.00  |
| 2ND TO 5TH FLOOR TRAFFIC LANES         | Illuminance | Fc    | 1.12 | 2.5 | 0.2 | 5.60   | 12.50  |
| 2ND TO 5TH FLOOR VEHICLE STORAGE AREAS | Illuminance | Fc    | 1.00 | 2.4 | 0.1 | 10.00  | 24.00  |
| 6TH FLOOR TRAFFIC LANES                | Illuminance | Fc    | 1.22 | 2.5 | 0.4 | 3.05   | 6.25   |
| 6TH FLOOR VEHICLE PARKING AREAS        | Illuminance | Fc    | 1.24 | 2.6 | 0.1 | 12.40  | 26.00  |
| ROOF TOP PARKING LOT                   | Illuminance | Fc    | 1.59 | 2.7 | 0.4 | 3.98   | 6.75   |

USE IOTA IIS-375I EM BATTERY POWER SUPPLY

PHOTOMETRIC EMERGENCY LIGHT PARKING GARAGE

SCALE: 3/64" = 1'-0"



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STATE OF FLORIDA  
CARLOS PIZARRO  
REGISTERED ARCHITECT  
AR0013079  
08-05-2021  
Carlos Pizarro, R.A.  
AR - 0013079

Revisions:  
COORDINATION 5-3-22

OWNER/DEVELOPER:  
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15801 BISCAYNE BOULEVARD SUITE 203  
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PROJECT:  
PROPOSED 3 STORY OFFICE /  
RETAIL BUILDING  
& 6 STORY PARKING STRUCTURE  
AT BISCAYNE OFFICE COMPLEX  
15801 BISCAYNE BOULEVARD  
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Job Number: 21007.01  
File Name:  
Issued Date: 08-05-2021  
Drawn by: J.C.  
Checked by: C.P./C.C

SHEET NAME  
PHOTOMETRIC PLAN  
FC LEVEL ON BATTERY BACKUP POWER

SHEET NUMBER  
**PH-3**

**BUCHANAN P.E CONSULTING INC.**  
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RAJA BUCHANAN P.E # 48916



BISCAYNE OFFICE COMPLEX  
**RENDERING**

15801 BISCAYNE BLVD  
MIAMI - FLORIDA - 33160

**DTI**  
ARCHITECTS