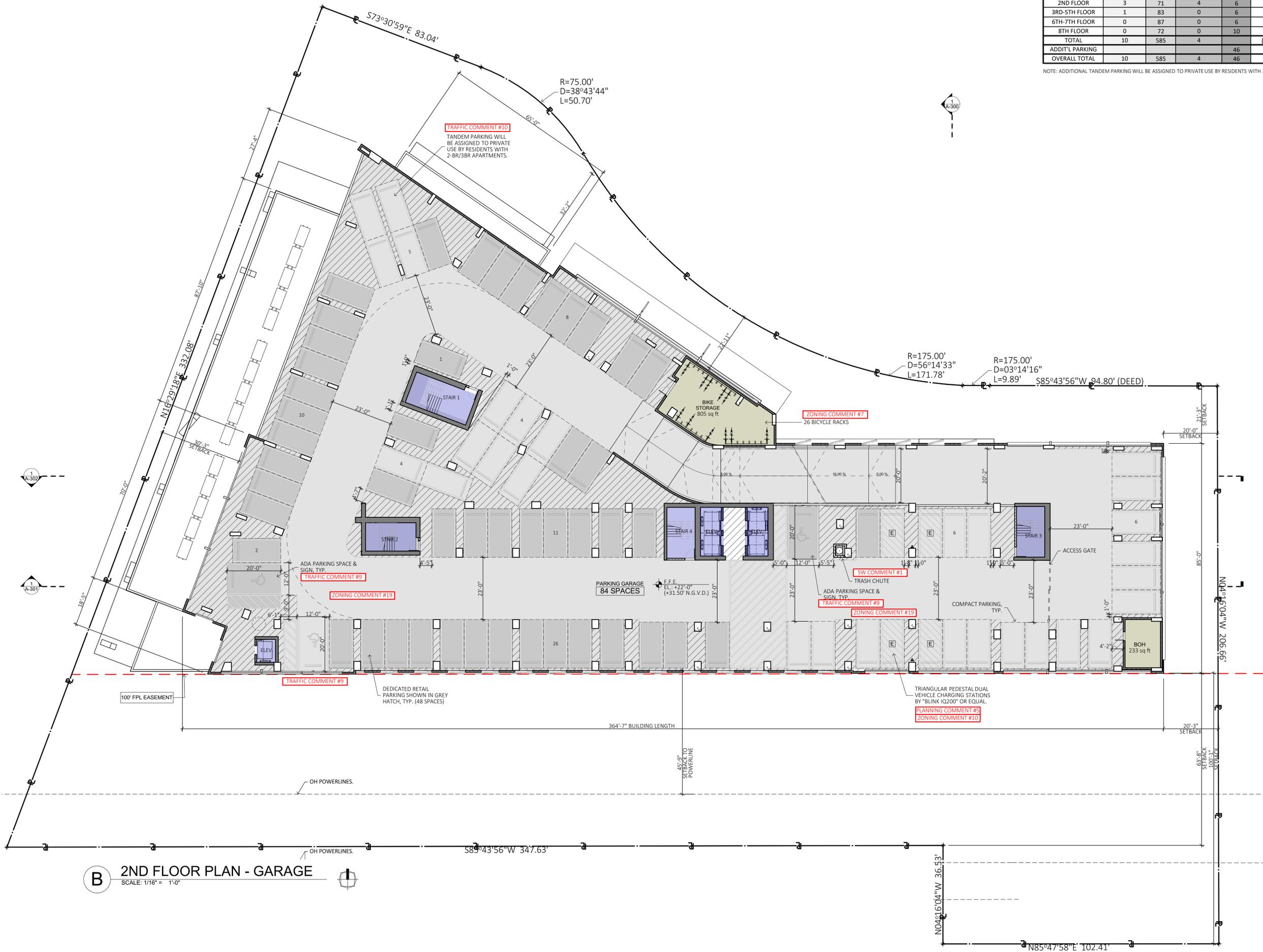


PARKING BREAKDOWN							
	HC	SINGLE	CHARGING ST.	TANDEM	SUB-TOTAL	LEVELS	TOTAL
GROUND FLOOR	4	19	0	0	23	1	23
2ND FLOOR	3	71	4	6	84	1	84
3RD-5TH FLOOR	1	83	0	6	90	3	270
6TH-7TH FLOOR	0	87	0	6	93	2	186
8TH FLOOR	0	72	0	10	82	1	82
TOTAL	10	585	4		(SANS TANDEM)		599
ADDIT'L PARKING				46			46
OVERALL TOTAL	10	585	4	46			645

NOTE: ADDITIONAL TANDEM PARKING WILL BE ASSIGNED TO PRIVATE USE BY RESIDENTS WITH 2-BR/3BR APARTMENTS.

PLANNING COMMENT #32
TRAFFIC COMMENT #10



B 2ND FLOOR PLAN - GARAGE
SCALE: 1/16" = 1'-0"

COLOR LEGEND

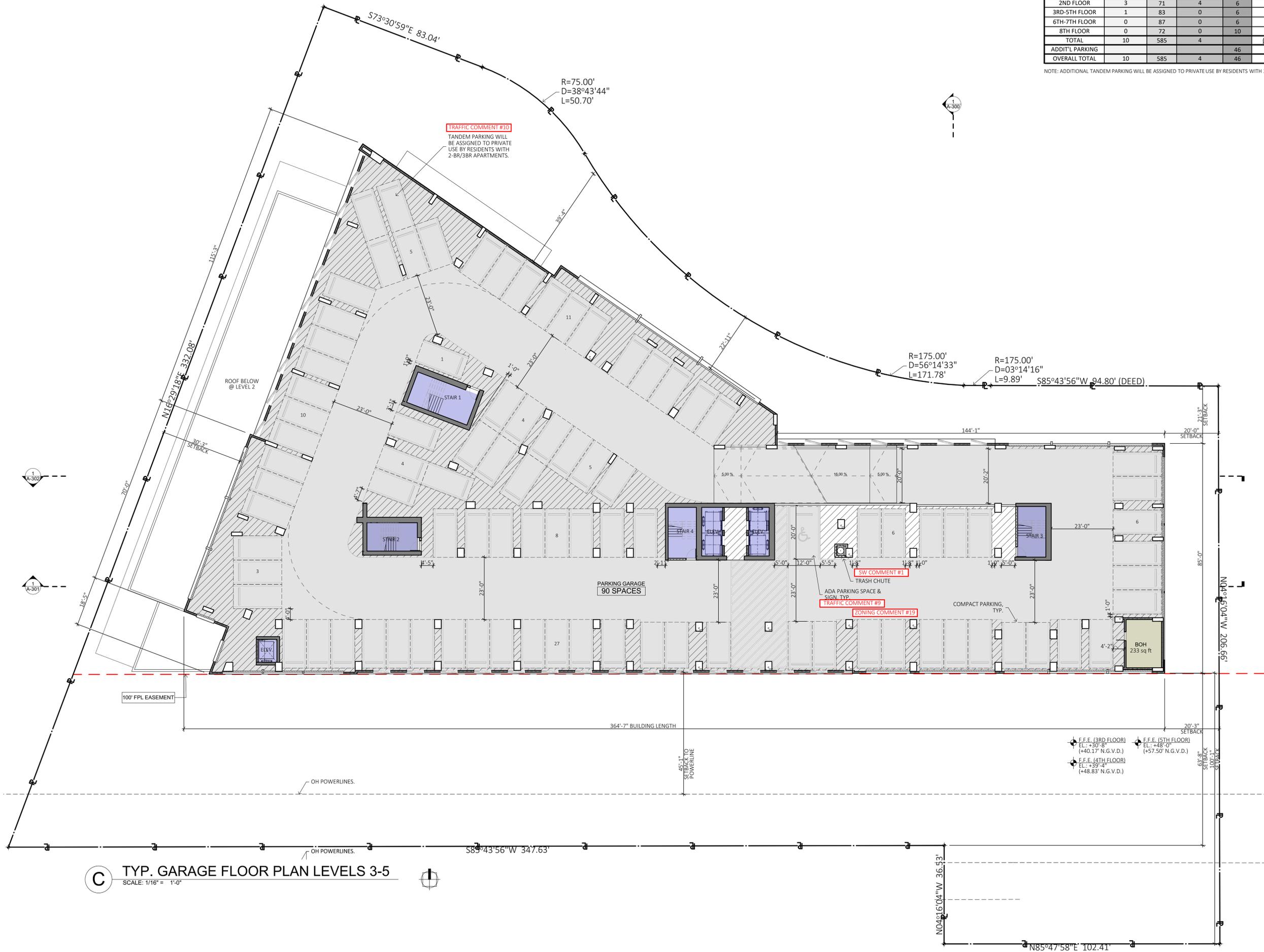
- LOBBY/ CIRCULATION
- RETAIL
- STAIR AND ELEVATORS
- B.O.H.
- PARKING
- LANDSCAPE AREA
- OFFICE



PARKING BREAKDOWN							
	HC	SINGLE	CHARGING ST.	TANDEM	SUB-TOTAL	LEVELS	TOTAL
GROUND FLOOR	4	19	0	0	23	1	23
2ND FLOOR	3	71	4	6	84	1	84
3RD-5TH FLOOR	1	83	0	6	90	3	270
6TH-7TH FLOOR	0	87	0	6	93	2	186
8TH FLOOR	0	72	0	10	82	1	82
TOTAL	10	585	4		(SANS TANDEM)		599
ADDIT'L PARKING				46			46
OVERALL TOTAL	10	585	4	46			645

NOTE: ADDITIONAL TANDEM PARKING WILL BE ASSIGNED TO PRIVATE USE BY RESIDENTS WITH 2-BR/3BR APARTMENTS.

PLANNING COMMENT #32
TRAFFIC COMMENT #10



C TYP. GARAGE FLOOR PLAN LEVELS 3-5
SCALE: 1/16" = 1'-0"

COLOR LEGEND

- LOBBY/ CIRCULATION
- RETAIL
- STAIR AND ELEVATORS
- B.O.H.
- PARKING
- LANDSCAPE AREA
- OFFICE



PARKING BREAKDOWN							
	HC	SINGLE	CHARGING ST.	TANDEM	SUB-TOTAL	LEVELS	TOTAL
GROUND FLOOR	4	19	0	0	23	1	23
2ND FLOOR	3	71	4	6	84	1	84
3RD-5TH FLOOR	1	83	0	6	90	3	270
6TH-7TH FLOOR	0	87	0	6	93	2	186
8TH FLOOR	0	72	0	10	82	1	82
TOTAL	10	585	4		(SANS TANDEM) 599		599
ADDIT'L PARKING				46			46
OVERALL TOTAL	10	585	4	46			645

NOTE: ADDITIONAL TANDEM PARKING WILL BE ASSIGNED TO PRIVATE USE BY RESIDENTS WITH 2-BR/3BR APARTMENTS.

PLANNING COMMENT #32
TRAFFIC COMMENT #10



D TYP. GARAGE FLOOR PLAN LEVELS 6-7
SCALE: 1/16" = 1'-0"

COLOR LEGEND

- LOBBY/ CIRCULATION
- RETAIL
- STAIR AND ELEVATORS
- B.O.H.
- PARKING
- LANDSCAPE AREA
- OFFICE



PARKING BREAKDOWN							
	HC	SINGLE	CHARGING ST.	TANDEM	SUB-TOTAL	LEVELS	TOTAL
GROUND FLOOR	4	19	0	0	23	1	23
2ND FLOOR	3	71	4	6	84	1	84
3RD-5TH FLOOR	1	83	0	6	90	3	270
6TH-7TH FLOOR	0	87	0	6	93	2	186
8TH FLOOR	0	72	0	10	82	1	82
TOTAL	10	585	4		(SANS TANDEM)		599
ADDIT'L PARKING				46			46
OVERALL TOTAL	10	585	4	46			645

NOTE: ADDITIONAL TANDEM PARKING WILL BE ASSIGNED TO PRIVATE USE BY RESIDENTS WITH 2-BR/3BR APARTMENTS.

PLANNING COMMENT #32
TRAFFIC COMMENT #10



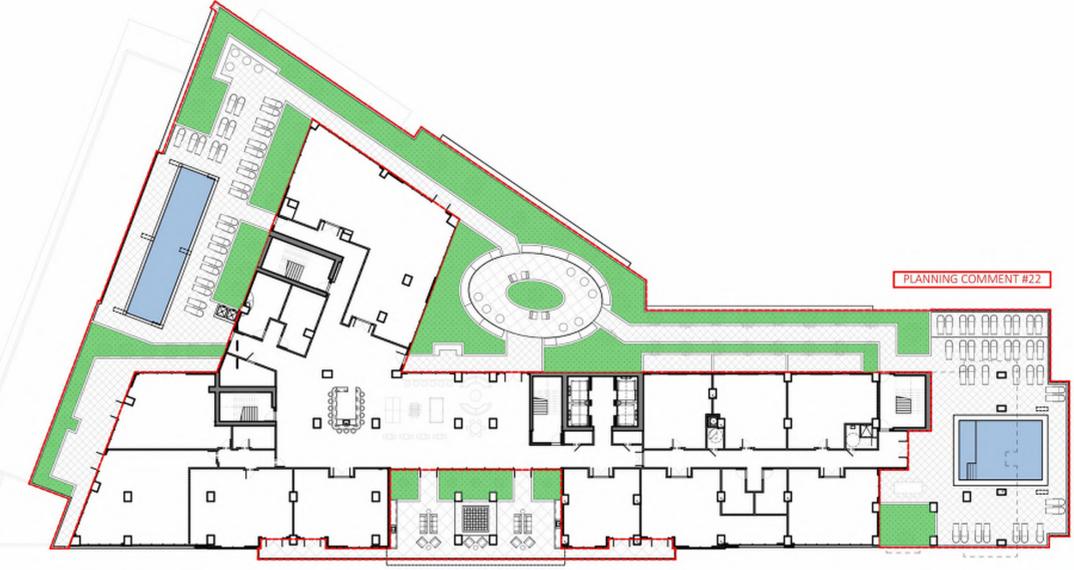
E 8TH FLOOR PLAN - GARAGE
SCALE: 1/16" = 1'-0"

- COLOR LEGEND
- LOBBY/ CIRCULATION
 - RETAIL
 - STAIR AND ELEVATORS
 - B.O.H.
 - PARKING
 - LANDSCAPE AREA
 - OFFICE



UNIT BREAKDOWN									
	STUDIO	1BR	1BR/DEN	2 BR	2BR/DEN	3-BR	SUB-TOTAL	LEVELS	TOTAL
GROUND FLOOR	0	0	0	0	0	0	0	1	0
9TH (REC DECK)	0	2	1	2	0	1	6	1	6
10TH FLOOR	0	0	0	2	2	1	5	1	5
11TH-17TH	2	6	2	7	4	1	22	7	154
18TH FLOOR	3	6	1	5	2	1	18	1	18
19TH-28TH	3	6	1	5	2	1	18	10	180
TOTAL	47	110	26	108	52	20			363

PLANNING COMMENT #19



PLANNING COMMENT #22

1 REC DECK LANDSCAPE DIAGRAM
NOT TO SCALE

REC DECK FLOOR BREAKDOWN		
	REQUIRED	PROPOSED
GROSS ROOF DECK AREA	-	21,786 s.f.
LANDSCAPED AREA	15% min. (3,268 s.f.)	28% (6,128 s.f.)

EGRESS WALKING SURFACES

WALKING SURFACES OF THE MEAN OF EGRESS SHALL HAVE A SLIP-RESISTANCE SURFACE. ALL WALKING SURFACE MATERIALS WILL BE SECURELY ATTACHED, AS PER F.B.C.1003 AND WILL COMPLY WITH ASTM D2047 OR ANSI A137.1



F REC DEC LEVEL - 9TH FLOOR.
SCALE: 1/16" = 1'-0"

- COLOR LEGEND**
- LOBBY/CIRCULATION
 - RETAIL
 - STAIR AND ELEVATORS
 - B.O.H.
 - PARKING
 - LANDSCAPE AREA
 - OFFICE

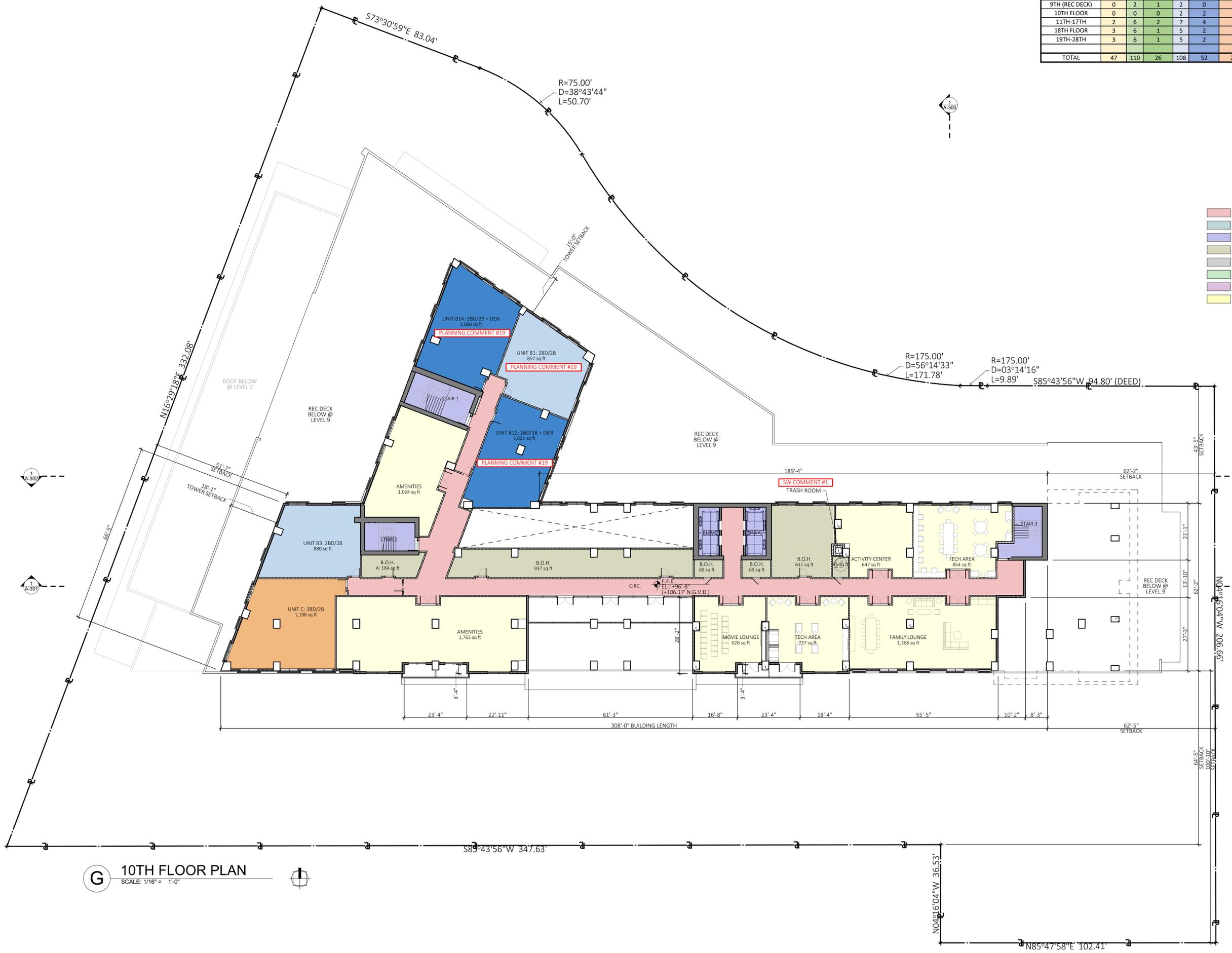


UNIT BREAKDOWN									
	STUDIO	1BR	1BR/DEN	2 BR	2BR/DEN	3-BR	SUB-TOTAL	LEVELS	TOTAL
GROUND FLOOR	0	0	0	0	0	0	0	1	0
9TH (REC DECK)	0	2	1	2	0	1	6	1	6
10TH FLOOR	0	0	0	2	2	1	5	1	5
11TH-17TH	2	6	2	7	4	1	22	7	154
18TH FLOOR	3	6	1	5	2	1	18	1	18
19TH-28TH	3	6	1	5	2	1	18	10	180
TOTAL	47	110	26	108	52	20			363

PLANNING COMMENT #19

COLOR LEGEND

- LOBBY/ CIRCULATION
- RETAIL
- STAIR AND ELEVATORS
- B.O.H.
- PARKING
- LANDSCAPE AREA
- OFFICE
- AMENITY



G 10TH FLOOR PLAN
 SCALE: 1/16" = 1'-0"

COLOR LEGEND

- LOBBY/ CIRCULATION
- RETAIL
- STAIR AND ELEVATORS
- B.O.H.
- PARKING
- LANDSCAPE AREA
- OFFICE



	UNIT BREAKDOWN						SUB-TOTAL	LEVELS	TOTAL
	STUDIO	1BR	1BR/DEN	2 BR	2BR/DEN	3-BR			
GROUND FLOOR	0	0	0	0	0	0	0	1	0
9TH (REC DECK)	0	2	1	2	0	1	6	1	6
10TH FLOOR	0	0	0	2	2	1	5	1	5
11TH-17TH	2	6	2	7	4	1	22	7	154
18TH FLOOR	3	6	1	5	2	1	18	1	18
19TH-28TH	3	6	1	5	2	1	18	10	180
TOTAL	47	110	26	108	52	20			363

PLANNING COMMENT #19



18TH FLOOR PLAN
SCALE: 1/16" = 1'-0"

COLOR LEGEND

- LOBBY/CIRCULATION
- RETAIL
- STAIR AND ELEVATORS
- B.O.H.
- PARKING
- LANDSCAPE AREA
- OFFICE



	UNIT BREAKDOWN						SUB-TOTAL	LEVELS	TOTAL
	STUDIO	1BR	1BR/DEN	2 BR	2BR/DEN	3-BR			
GROUND FLOOR	0	0	0	0	0	0	0	1	0
9TH (REC DECK)	0	2	1	2	0	1	6	1	6
10TH FLOOR	0	0	0	2	2	1	5	1	5
11TH-17TH	2	6	2	7	4	1	22	7	154
18TH FLOOR	3	6	1	5	2	1	18	1	18
19TH-28TH	3	6	1	5	2	1	18	10	180
TOTAL	47	110	26	108	52	20			363

PLANNING COMMENT #19

COLOR LEGEND

- LOBBY/ CIRCULATION
- RETAIL
- STAIR AND ELEVATORS
- B.O.H.
- PARKING
- LANDSCAPE AREA
- OFFICE
- AMENITY



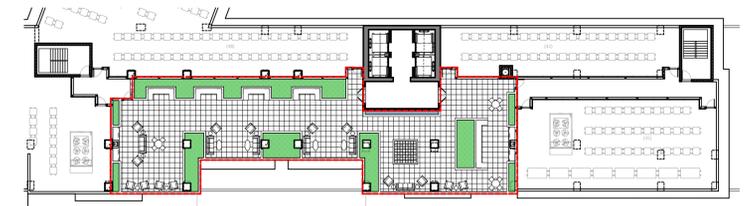
F.F.E. (19TH FLOOR) EL: +182'-0" (+191.50' N.G.V.D.)	F.F.E. (24TH FLOOR) EL: +228'-8" (+238.17' N.G.V.D.)
F.F.E. (20TH FLOOR) EL: +191'-4" (+200.83' N.G.V.D.)	F.F.E. (25TH FLOOR) EL: +238'-0" (+247.50' N.G.V.D.)
F.F.E. (21ST FLOOR) EL: +200'-8" (+210.17' N.G.V.D.)	F.F.E. (26TH FLOOR) EL: +247'-4" (+256.83' N.G.V.D.)
F.F.E. (22ND FLOOR) EL: +210'-0" (+219.50' N.G.V.D.)	F.F.E. (27TH FLOOR) EL: +256'-8" (+266.17' N.G.V.D.)
F.F.E. (23RD FLOOR) EL: +219'-4" (+228.83' N.G.V.D.)	F.F.E. (28TH FLOOR) EL: +266'-0" (+275.50' N.G.V.D.)

COLOR LEGEND

- LOBBY/ CIRCULATION
- RETAIL
- STAIR AND ELEVATORS
- B.O.H.
- PARKING
- LANDSCAPE AREA
- OFFICE

J TYP. FLOOR PLAN (LEVELS 19-28)
SCALE: 1/16" = 1'-0"





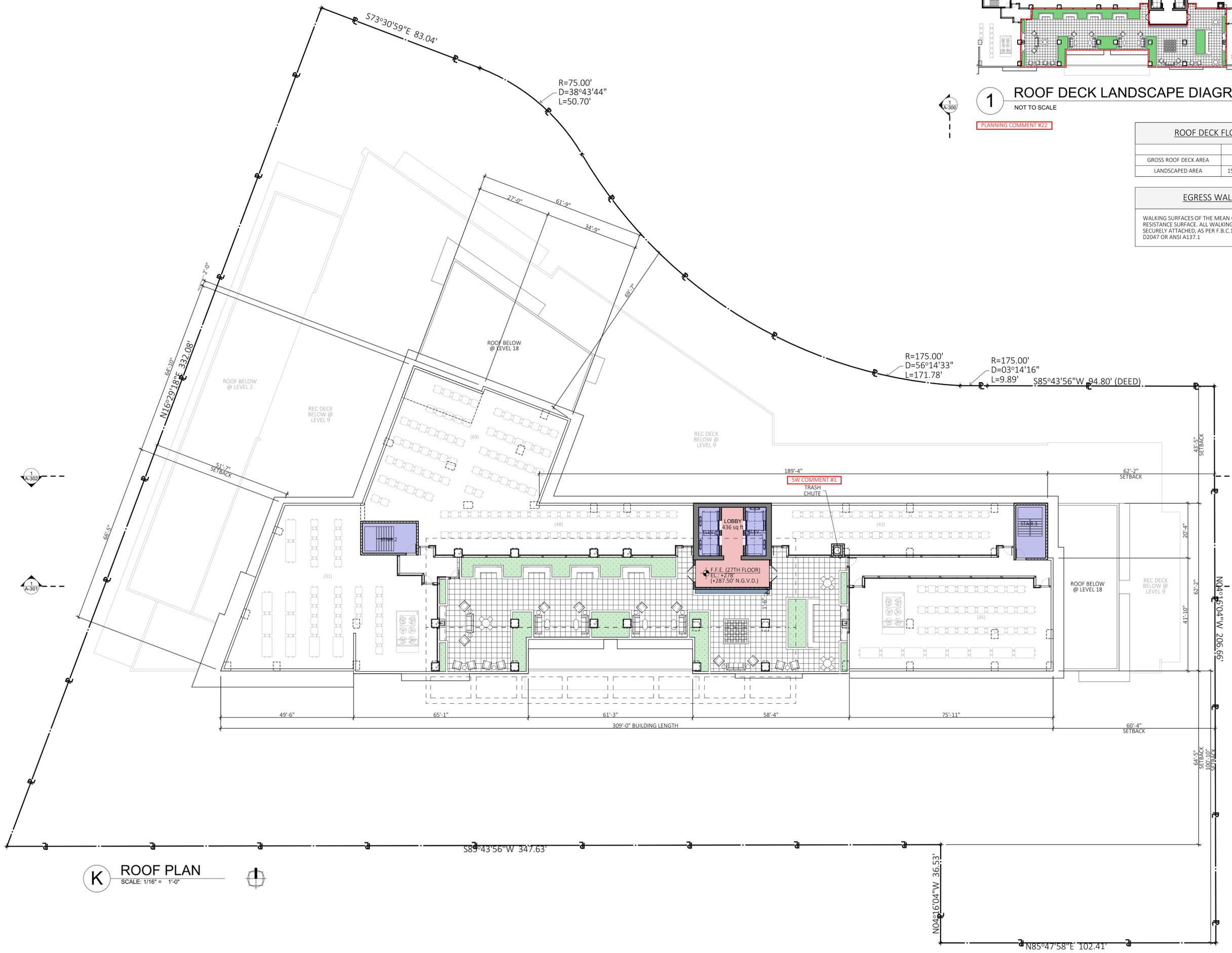
1 ROOF DECK LANDSCAPE DIAGRAM LANDSCAPE AREA
NOT TO SCALE

PLANNING COMMENT #22

ROOF DECK FLOOR BREAKDOWN		
	REQUIRED	PROPOSED
GROSS ROOF DECK AREA	-	5,631 s.f.
LANDSCAPED AREA	15% min. (845 s.f.)	16.9% (952 s.f.)

EGRESS WALKING SURFACES

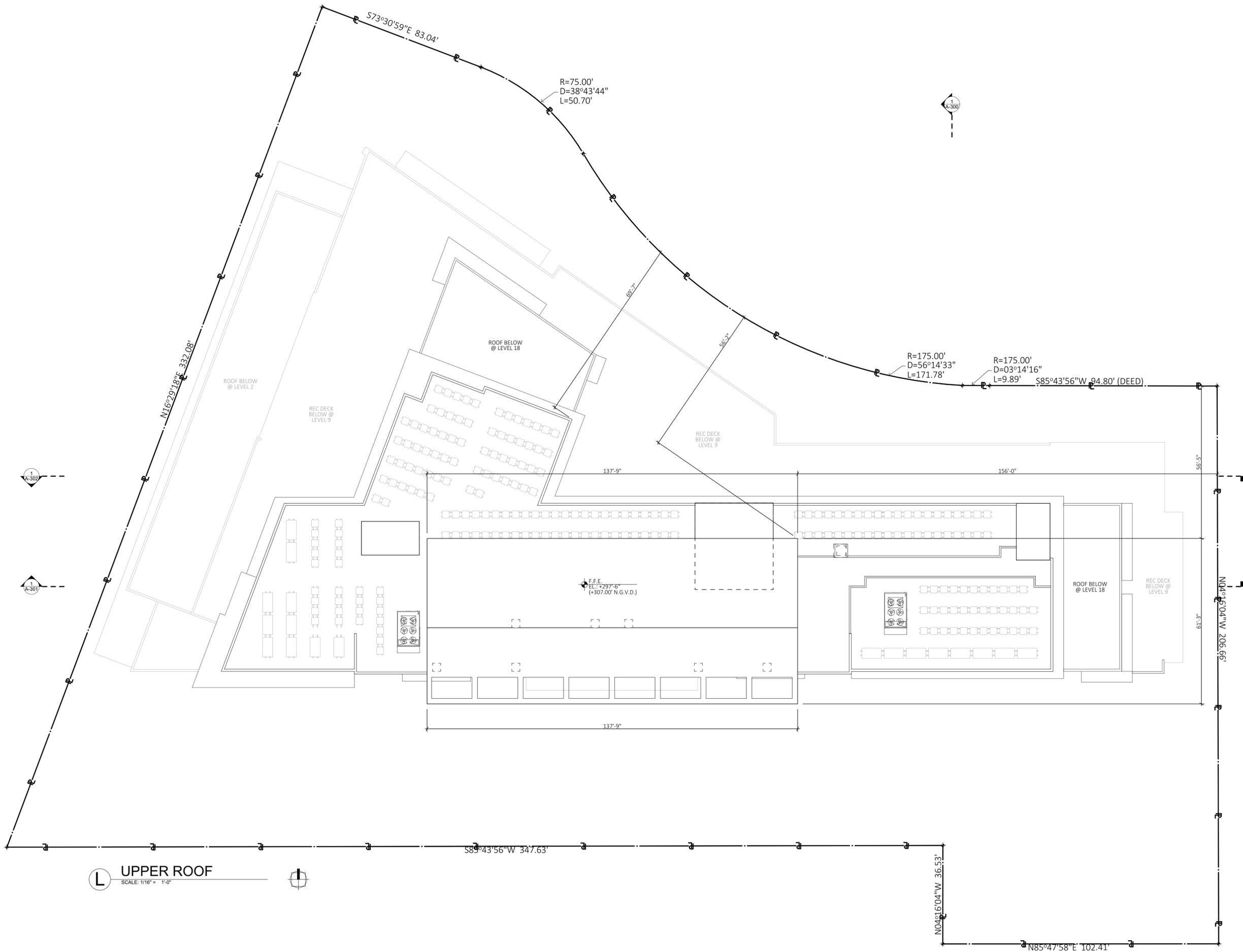
WALKING SURFACES OF THE MEAN OF EGRESS SHALL HAVE A SLIP-RESISTANCE SURFACE. ALL WALKING SURFACE MATERIALS WILL BE SECURELY ATTACHED, AS PER F.B.C.1003 AND WILL COMPLY WITH ASTM D2047 OR ANSI A137.1



K ROOF PLAN
SCALE: 1/16" = 1'-0"

- COLOR LEGEND**
- LOBBY/ CIRCULATION
 - RETAIL
 - STAIR AND ELEVATORS
 - B.O.H.
 - PARKING
 - LANDSCAPE AREA
 - OFFICE



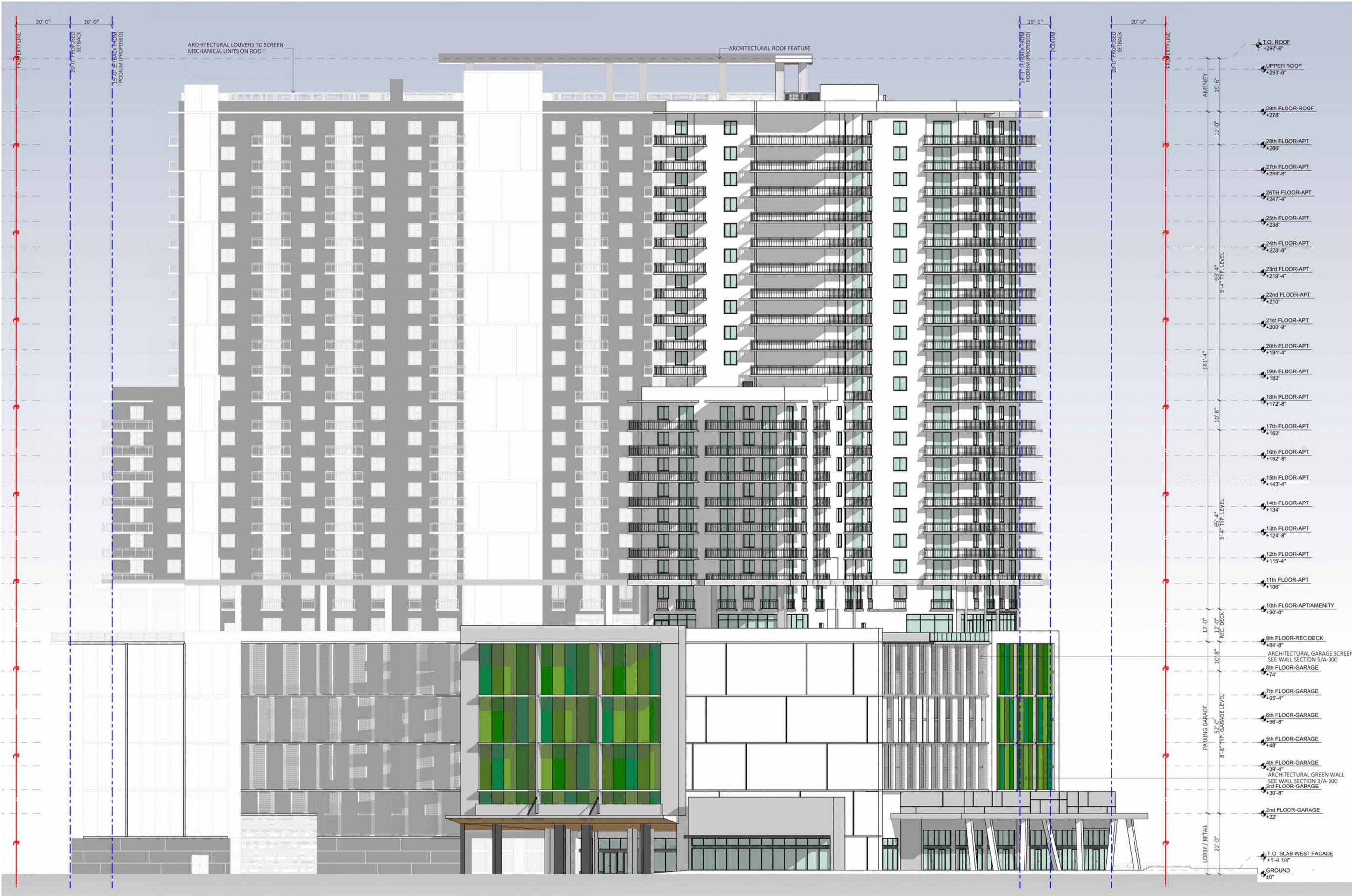


UPPER ROOF
 SCALE: 1/16" = 1'-0"

COLOR LEGEND

- LOBBY/ CIRCULATION
- RETAIL
- STAIR AND ELEVATORS
- B.O.H.
- PARKING
- LANDSCAPE AREA
- OFFICE





1 NORTH ELEVATION
SCALE: 1/16" = 1'-0"

NOTES

- GROUND FLOOR WINDOW SILLS SHALL BE PLACED AT MAXIMUM HEIGHT OF TWENTY-FOUR (24) INCHES ABOVE GRADE TYP.
- BASE COLOR BASIS OF DESIGN IS BENJAMIN MOORE SNOW WHITE 2122-70 LRV:89, 7 AND DECORATOR'S WHITE CC-20 LRV:94.61. TRIM COLOR IS BENJAMIN MOORE GREY TINT 1611 LRV:70.09. ALL GLASS TO BE SOLARBAN-70 LIGHT GREEN TINT.
- PROPOSED BALCONY RAILING BASIS OF DESIGN IS AN ALUMINUM PICKET RAILING WITH HORIZONTAL TOP SECTION COMPLIANT WITH THE HIGH-VELOCITY HURRICANE ZONE OF THE FLORIDA BUILDING CODE. ALUMINUM FRAMING ELEMENTS SHALL HAVE A SILVER POWDER COAT FINISH.
- NO MIRROR-TYPE GLASS IS PROPOSED & COMPLY WITH SECTION 24-58(5)(1)iii.

PLANNING COMMENTS #14, 17, 18
ZONING COMMENT #13



MULTI-FAMILY
DEVELOPMENT FOR:
SOLESTE ON THE BAY

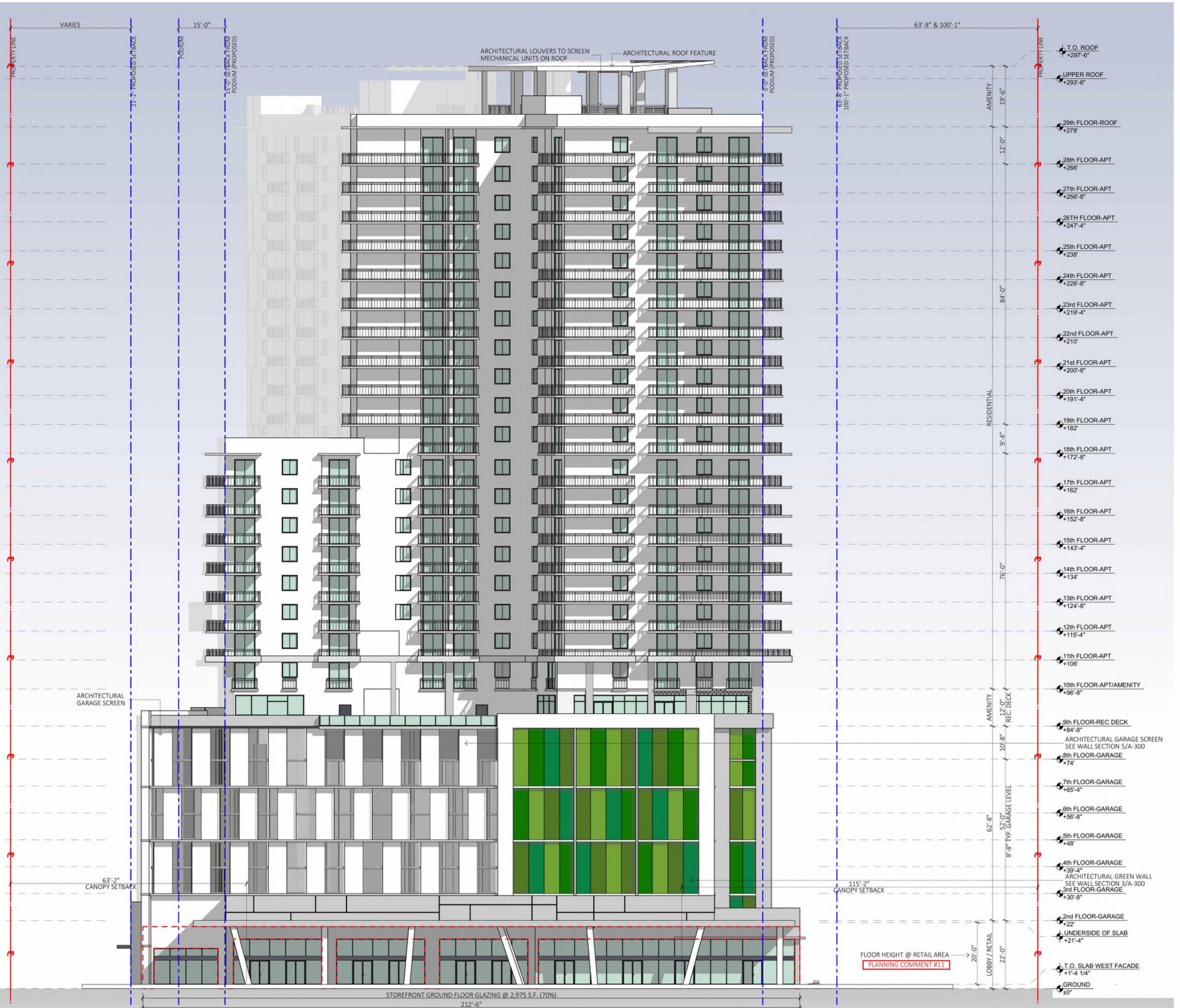
16375 BISCAYNE BOULEVARD
NORTH MIAMI BEACH, FL 33160

REVISIONS:
RESPONSE TO TRAD
05-05-22

FORMGROUP
architecture -planning

FORM GROUP, INC.
6740 SW 84 CT, MIAMI, FL 33143
TEL: 305.443.4244 FX: 305.443.3338
ARCHITECT OF RECORD:
OMAR MORALES, AIA
AA-0014851

PROJECT NO. 22-0210
DATE: FEBRUARY 10, 2022
SCALE: AS SHOWN
TITLE: WEST ELEVATION
DRAWING NO.: A-201



1 WEST ELEVATION - PRINCIPAL FRONTAGE
SCALE: 1/16" = 1'-0"
PLANNING COMMENT #13

GLAZING BREAKDOWN		
GROUND FLOOR HABITABLE SPACE WEST FACADE	REQUIRED	PROVIDED
GROUND FLOOR GLAZING WEST FACADE	70% (2,975 sf.)	70% (2,975 sf.)

PLANNING COMMENTS #14, 17, 18
ZONING COMMENT #13

- NOTES**
- GROUND FLOOR WINDOW SILLS SHALL BE PLACED AT MAXIMUM HEIGHT OF TWENTY-FOUR (24) INCHES ABOVE GRADE TYP.
 - BASE COLOR BASIS OF DESIGN IS BENJAMIN MOORE SNOW WHITE 2122-70 LRV:83.7 AND DECORATOR'S WHITE CC-20 LRV:84.61. TRIM COLOR IS BENJAMIN MOORE GREY TINT 1611 LRV:70.09. ALL GLASS TO BE SOLARBAN-70 LIGHT GREEN TINT.
 - PROPOSED BALCONY RAILING BASIS OF DESIGN IS AN ALUMINUM PICKET RAILING WITH HORIZONTAL TOP SECTION COMPLIANT WITH THE HIGH-VELOCITY HURRICANE ZONE OF THE FLORIDA BUILDING CODE. ALUMINUM FRAMING ELEMENTS SHALL HAVE A SILVER POWDER COAT FINISH.
 - NO MIRROR-TYPE GLASS IS PROPOSED & COMPLY WITH SECTION 24-58(S)(1),II.





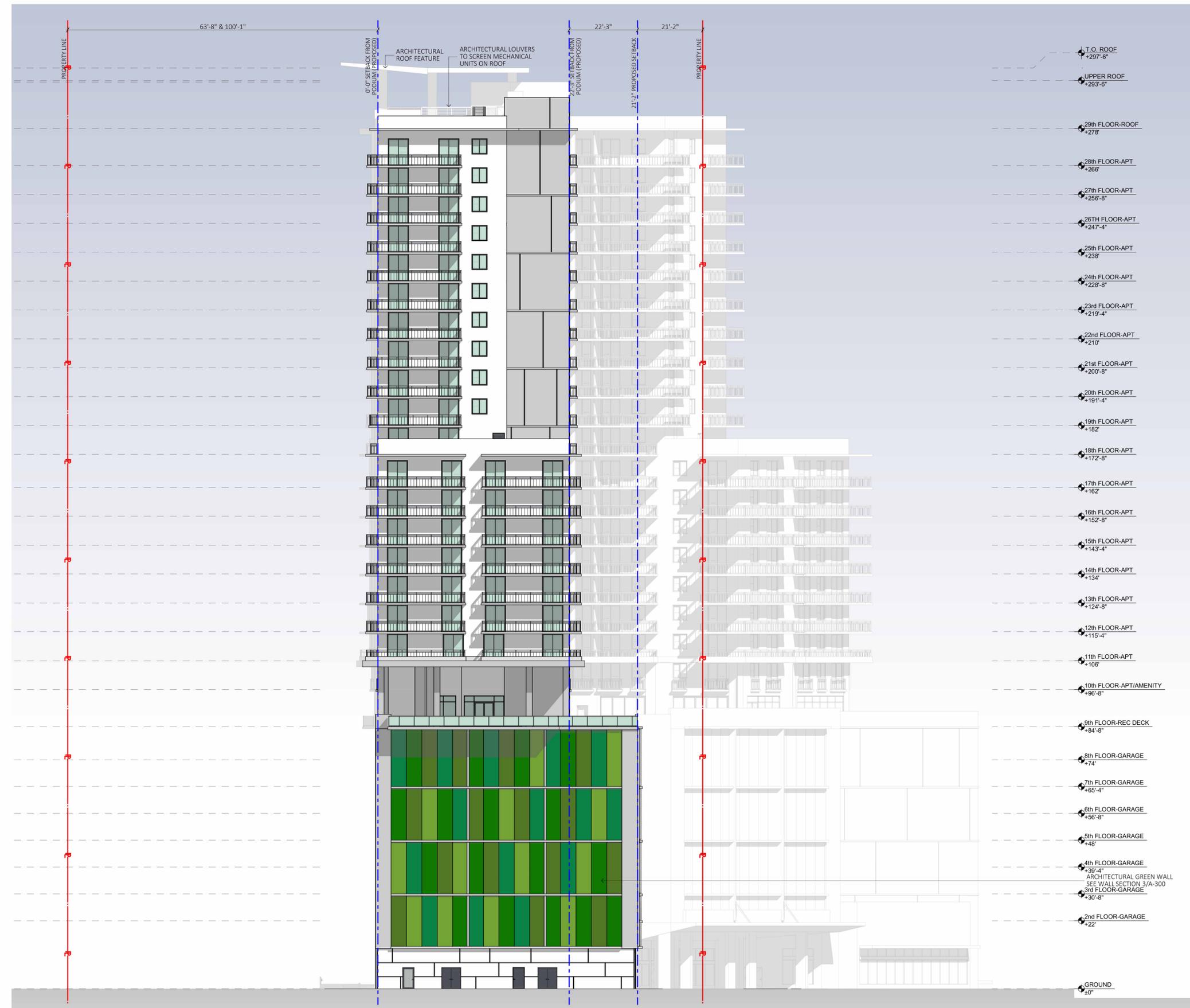
1 SOUTH ELEVATION - PRINCIPAL FRONTAGE
SCALE: 1/16" = 1'-0"
PLANNING COMMENT #13

GLAZING BREAKDOWN		
GROUND FLOOR HABITABLE SPACE WEST FACADE		3,384 sf.
	REQUIRED	PROVIDED
GROUND FLOOR GLAZING WEST FACADE	70% (2,368 sf.)	70% (2,370 sf.)

PLANNING COMMENTS #14, 17, 18
ZONING COMMENT #13

- NOTES**
- GROUND FLOOR WINDOW SILLS SHALL BE PLACED AT MAXIMUM HEIGHT OF TWENTY-FOUR (24) INCHES ABOVE GRADE TYP.
 - BASE COLOR BASIS OF DESIGN IS BENJAMIN MOORE SNOW WHITE 2122-70 LRV:89.7 AND DECORATOR'S WHITE CC-20 LRV:84.61. TRIM COLOR IS BENJAMIN MOORE GREY TINT 1611 LRV:70.09. ALL GLASS TO BE SOLARBAN-70 LIGHT GREEN TINT.
 - PROPOSED BALCONY RAILING BASIS OF DESIGN IS AN ALUMINUM PICKET RAILING WITH HORIZONTAL TOP SECTION COMPLIANT WITH THE HIGH-VELOCITY HURRICANE ZONE OF THE FLORIDA BUILDING CODE. ALUMINUM FRAMING ELEMENTS SHALL HAVE A SILVER POWDER COAT FINISH.
 - NO MIRROR-TYPE GLASS IS PROPOSED & COMPLY WITH SECTION 24-58(5)(1), III.



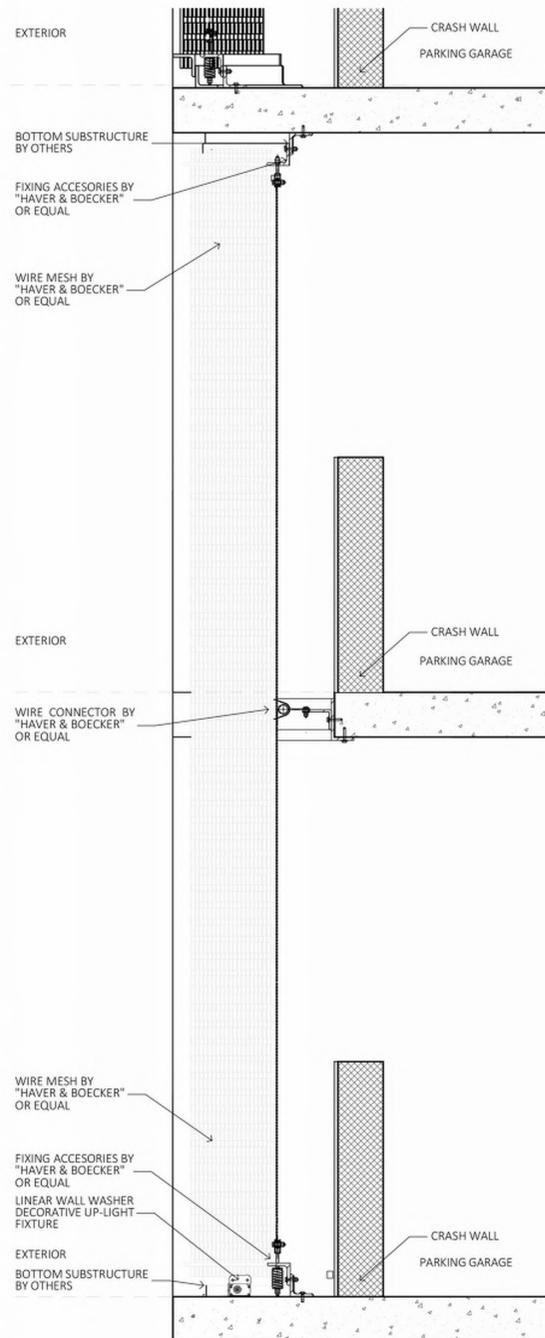


1 EAST ELEVATION
 SCALE: 1/16" = 1'-0"

- NOTES**
- GROUND FLOOR WINDOW SILLS SHALL BE PLACED AT MAXIMUM HEIGHT OF TWENTY-FOUR (24) INCHES ABOVE GRADE TYP.
 - BASE COLOR BASIS OF DESIGN IS BENJAMIN MOORE SNOW WHITE 2122-70 (LV-89.7 AND DECORATOR'S WHITE CC-20) LRV:84.61. TRIM COLOR IS BENJAMIN MOORE GREY TINT 1611 LRV:70.09. ALL GLASS TO BE SOLARBAN-70 LIGHT GREEN TINT.
 - PROPOSED BALCONY RAILING BASIS OF DESIGN IS AN ALUMINUM PICKET RAILING WITH HORIZONTAL TOP SECTION COMPLIANT WITH THE HIGH-VELOCITY HURRICANE ZONE OF THE FLORIDA BUILDING CODE. ALUMINUM FRAMING ELEMENTS SHALL HAVE A SILVER POWDER COAT FINISH.
 - NO MIRROR-TYPE GLASS IS PROPOSED & COMPLY WITH SECTION 24-58(5)(1).iii.

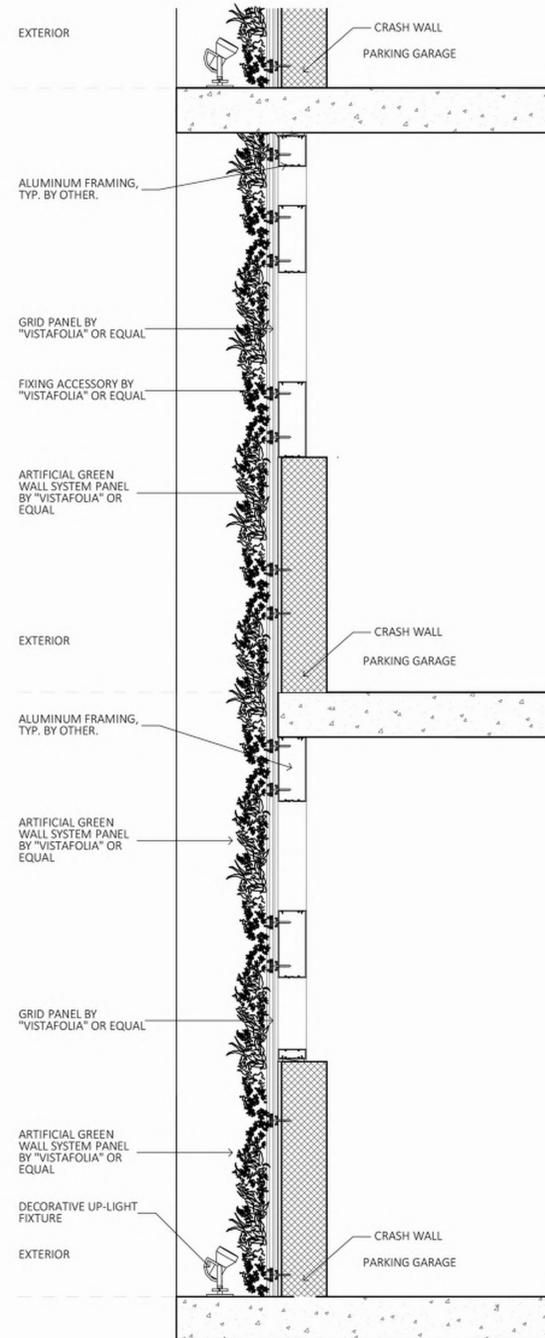
PLANNING COMMENTS #14, 17, 18
 ZONING COMMENT #13





5 ARCHITECTURAL GARAGE SCREEN WALL SECTION
SCALE: 3/4" = 1'-0"

ZONING COMMENT #3

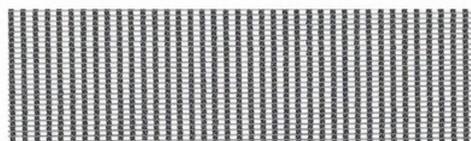


3 ARCHITECTURAL GREEN SCREEN WALL SECTION
SCALE: 3/4" = 1'-0"

ZONING COMMENT #3

5

3



HAVER & BOECKER ARCHITECTURAL WIRE MESH DOKA-MONO 1601

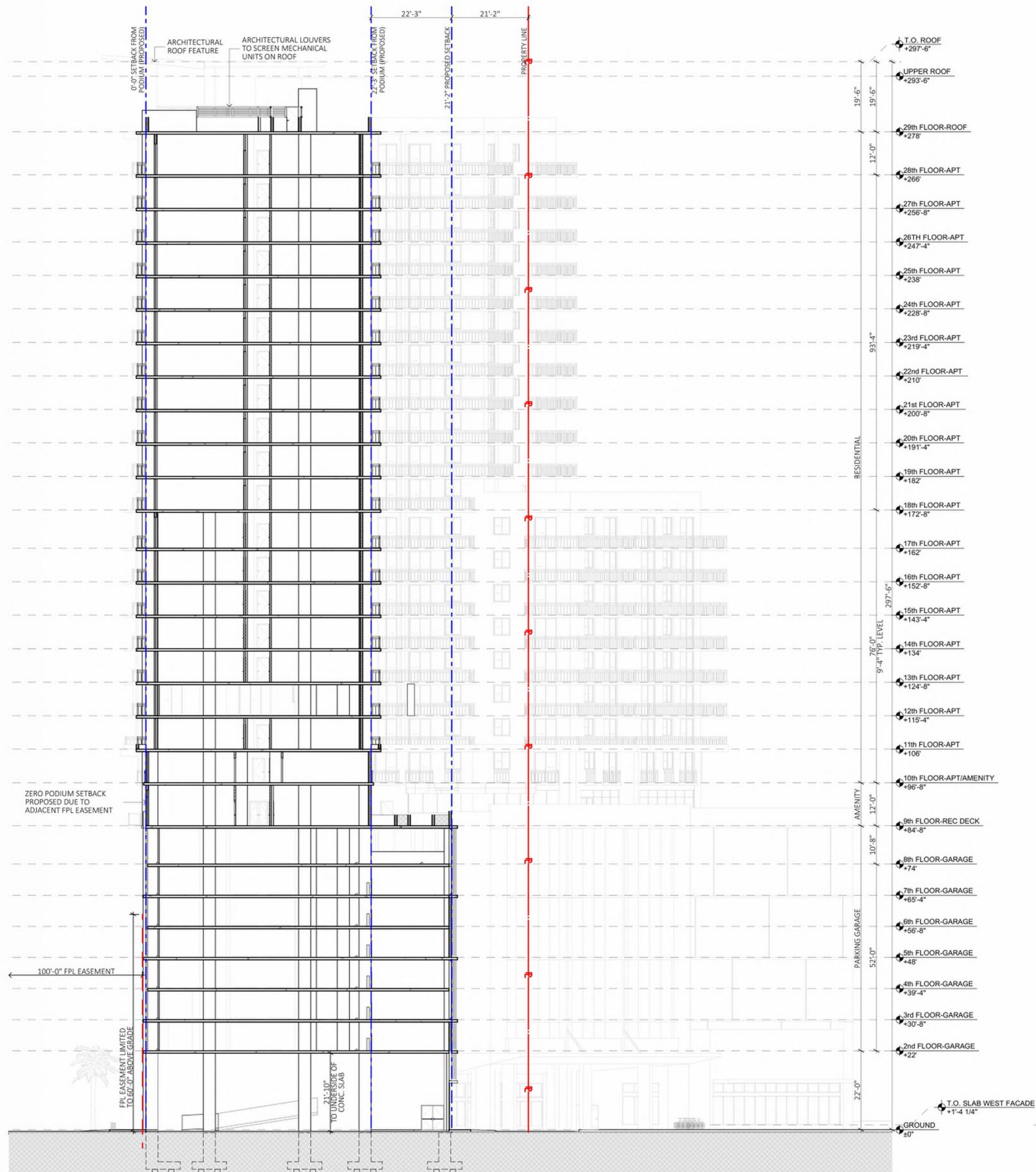
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DOKA MONO 1601



4

GREEN WALLS

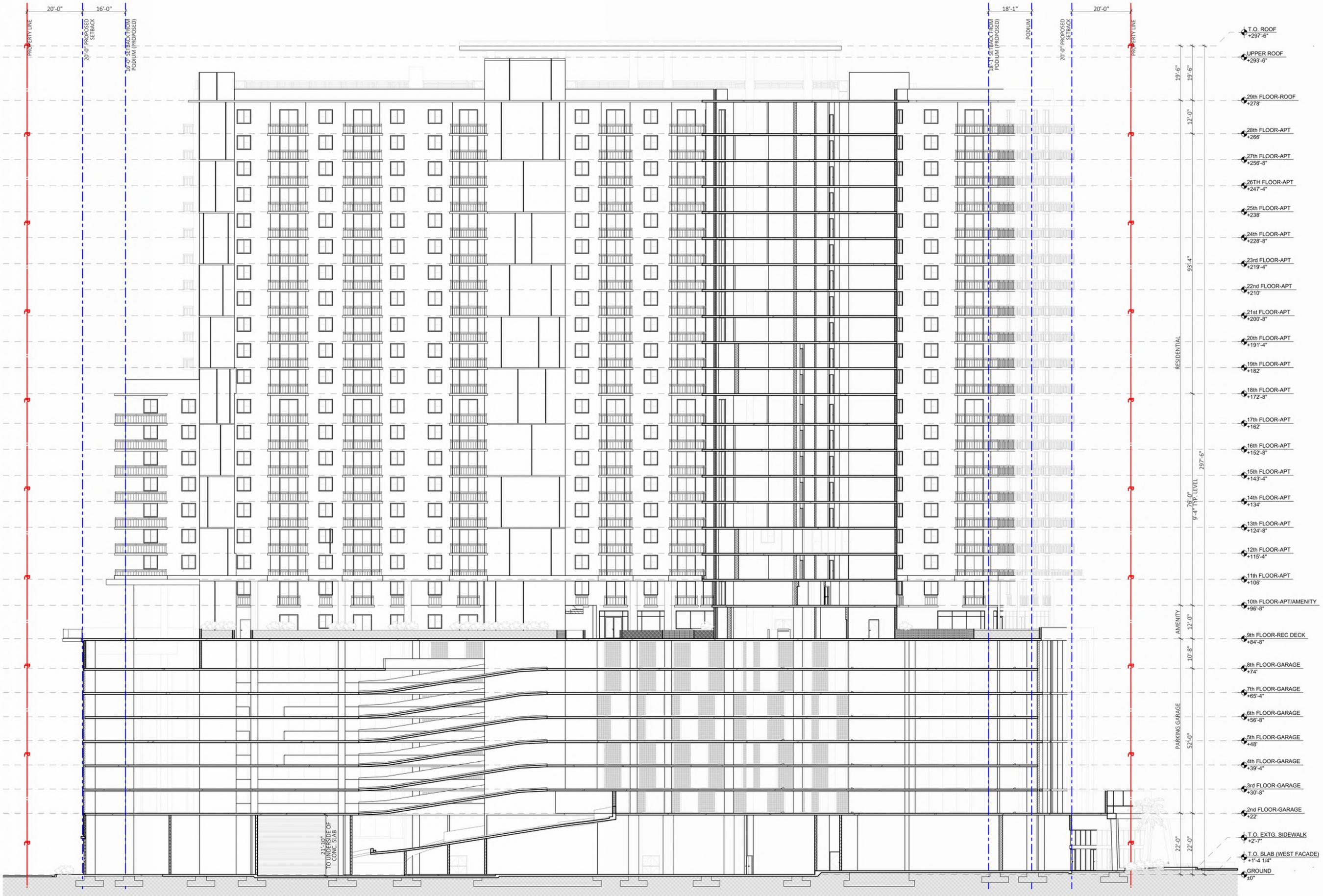


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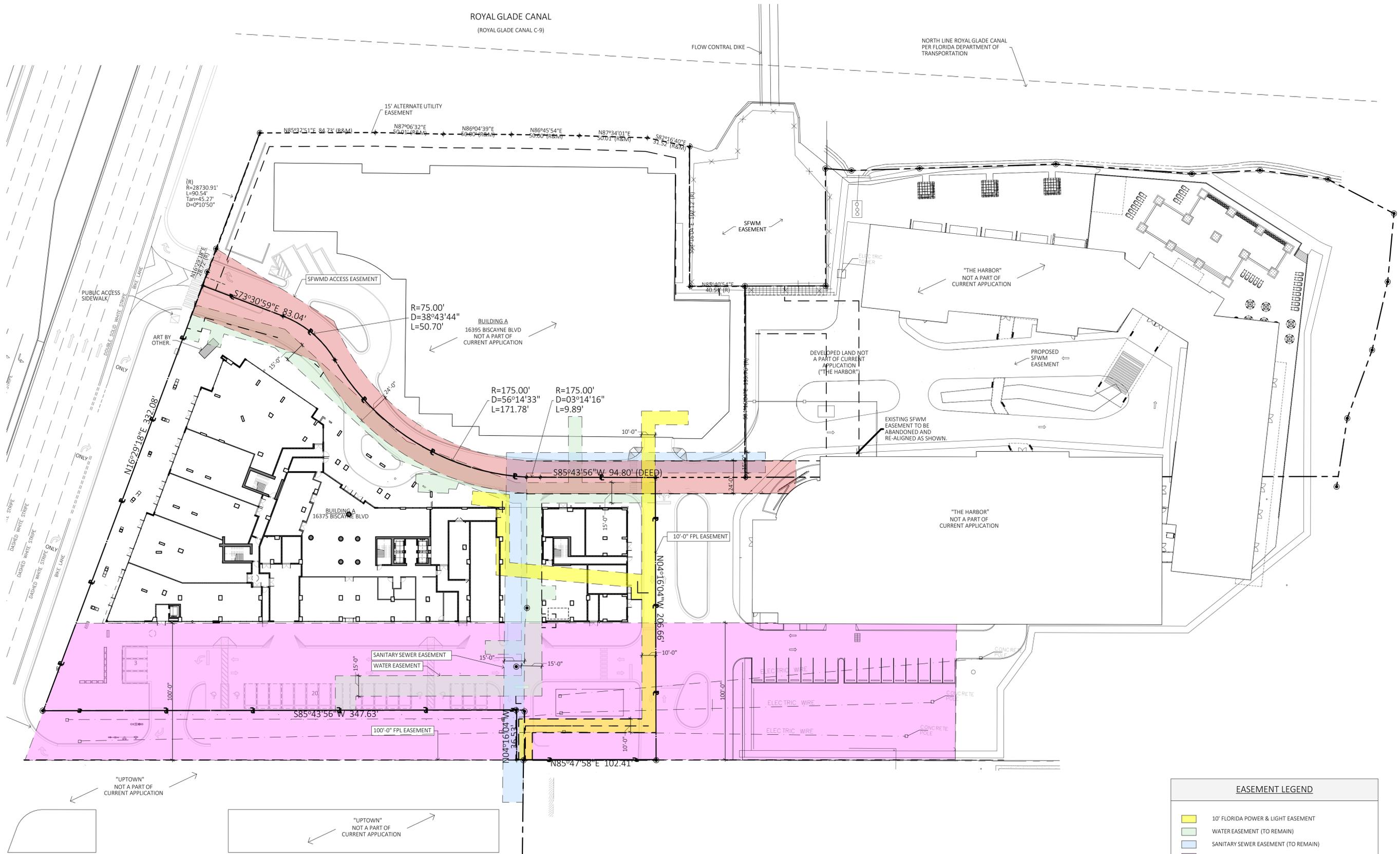
BUILDING SECTION
SCALE: 1/16" = 1'-0"



1 BUILDING SECTION
SCALE: 1/16" = 1'-0"



1 BUILDING SECTION
SCALE: 1/16" = 1'-0"



EASEMENT LEGEND	
	10' FLORIDA POWER & LIGHT EASEMENT
	WATER EASEMENT (TO REMAIN)
	SANITARY SEWER EASEMENT (TO REMAIN)
	100' FLORIDA POWER & LIGHT EASEMENT (TO REMAIN)
	SOUTH FLORIDA WATER MANAGEMENT DISTRICT ACCESS EASEMENT (TO REMAIN)

1 EASEMENT DIAGRAM
 SCALE: 1/32" = 1'-0"





3 GROUND FLOOR PRIVATE OPEN SPACE DIAGRAM

PRIVATE OPEN SPACE: 4,499 s.f.

PRIVATE OPEN SPACE BREAKDOWN		
	REQUIRED	PROPOSED
LOT AREA	-	93,969 s.f.
PRIVATE OPEN AREA	10% min. (9,397 s.f.)	
GROUND FLOOR		4,499 s.f.
REC DECK		11,854 s.f.
ROOF DECK		3,930 s.f.
TOTAL	10% min. (9,397 s.f.)	21.6% (20,283 s.f.)

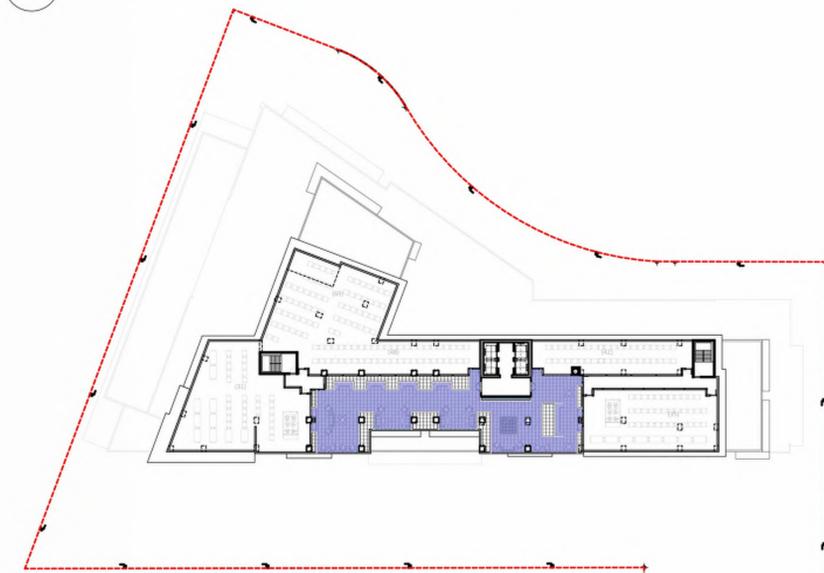
PRIVATE OPEN SPACE AREA

ZONING COMMENT #12
PLANNING COMMENT #28



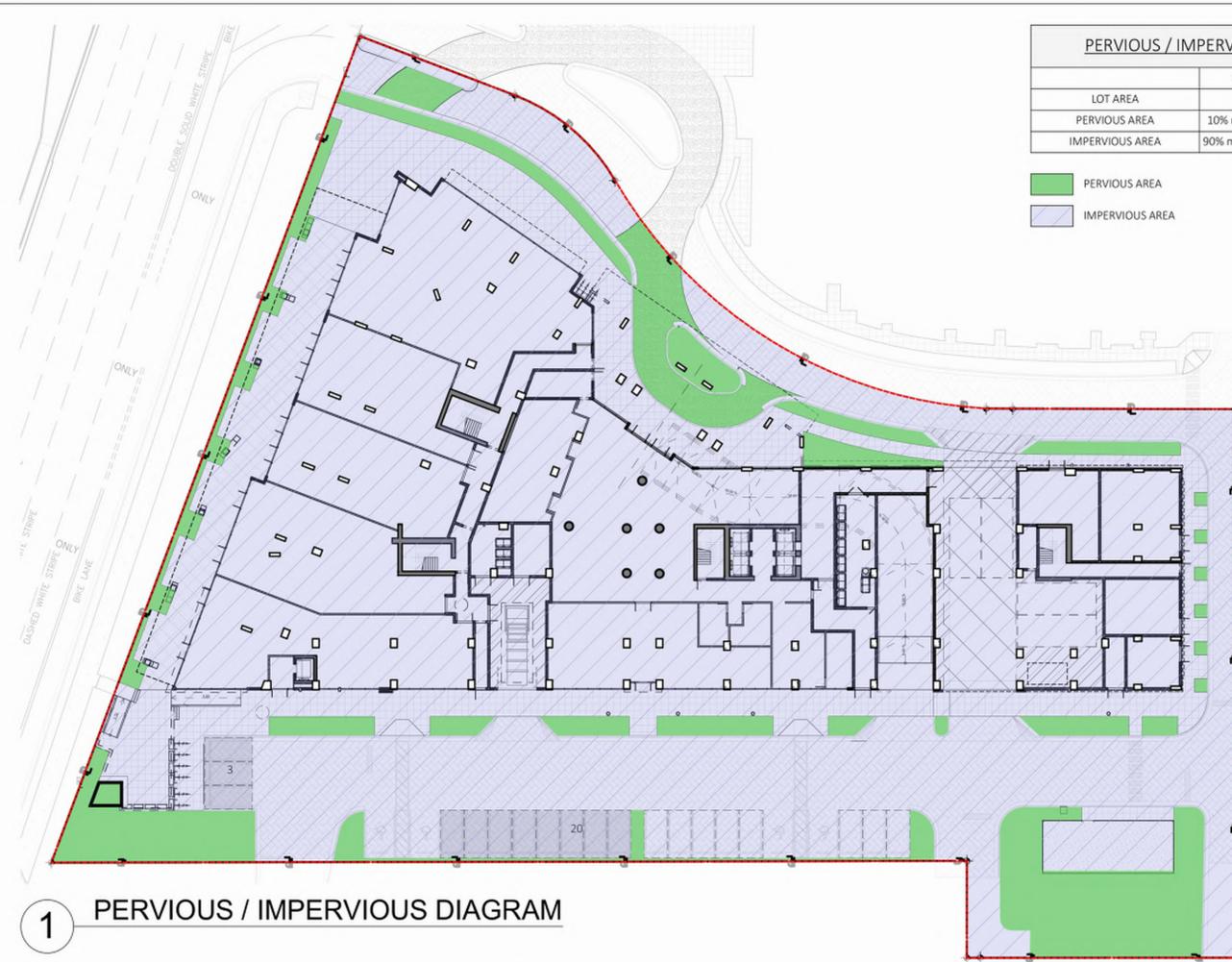
4 REC DECK PRIVATE OPEN SPACE DIAGRAM

PRIVATE OPEN SPACE: 11,854 s.f.



5 ROOF DECK PRIVATE OPEN SPACE DIAGRAM

PRIVATE OPEN SPACE: 3,930 s.f.

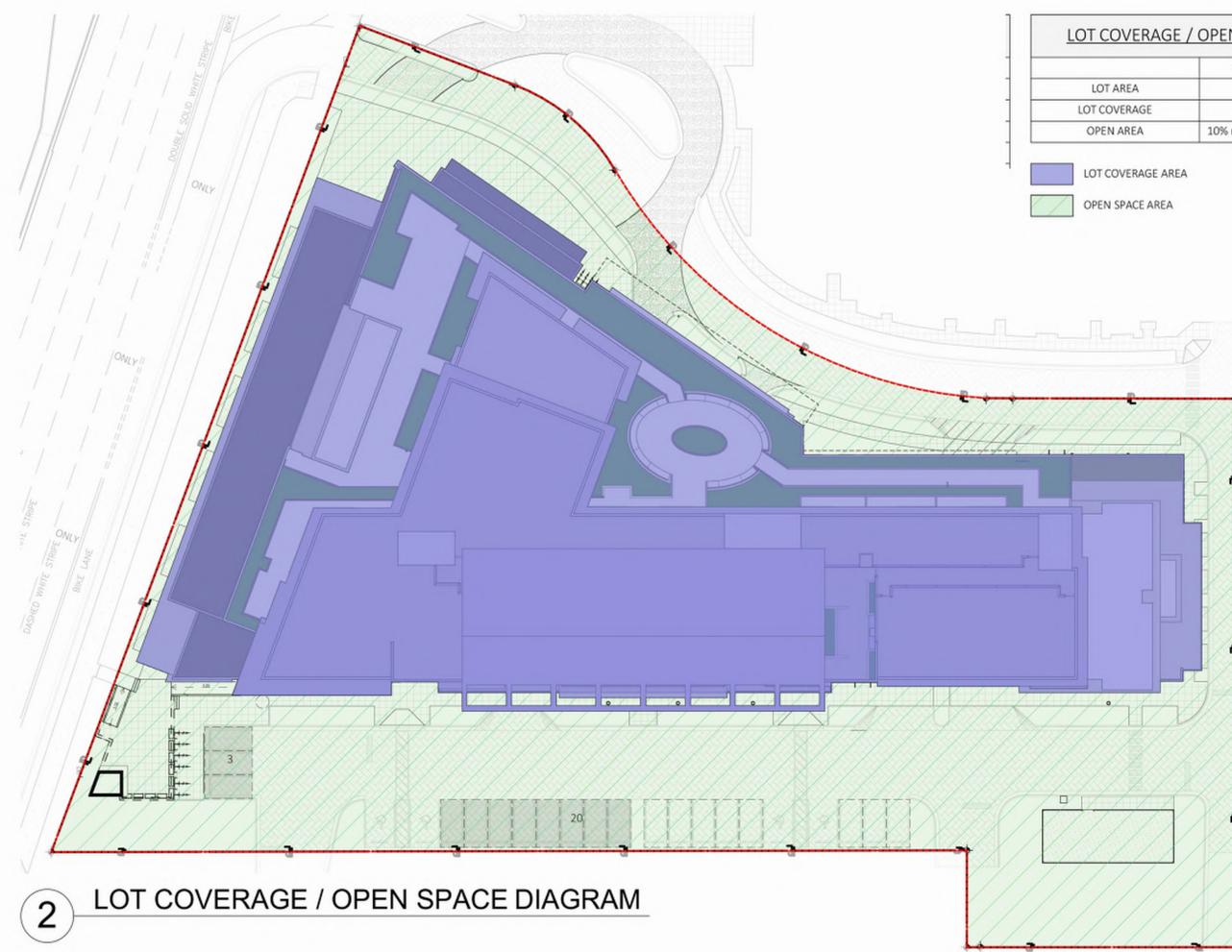


1 PERVIOUS / IMPERVIOUS DIAGRAM

PERVIOUS / IMPERVIOUS BREAKDOWN		
	REQUIRED	PROPOSED
LOT AREA	-	93,969 s.f.
PERVIOUS AREA	10% min. (9,397 s.f.)	12.7% (11,958 s.f.)
IMPERVIOUS AREA	90% max. (84,572 s.f.)	87% (82,011 s.f.)

PERVIOUS AREA
IMPERVIOUS AREA

PLANNING COMMENT #26, 27

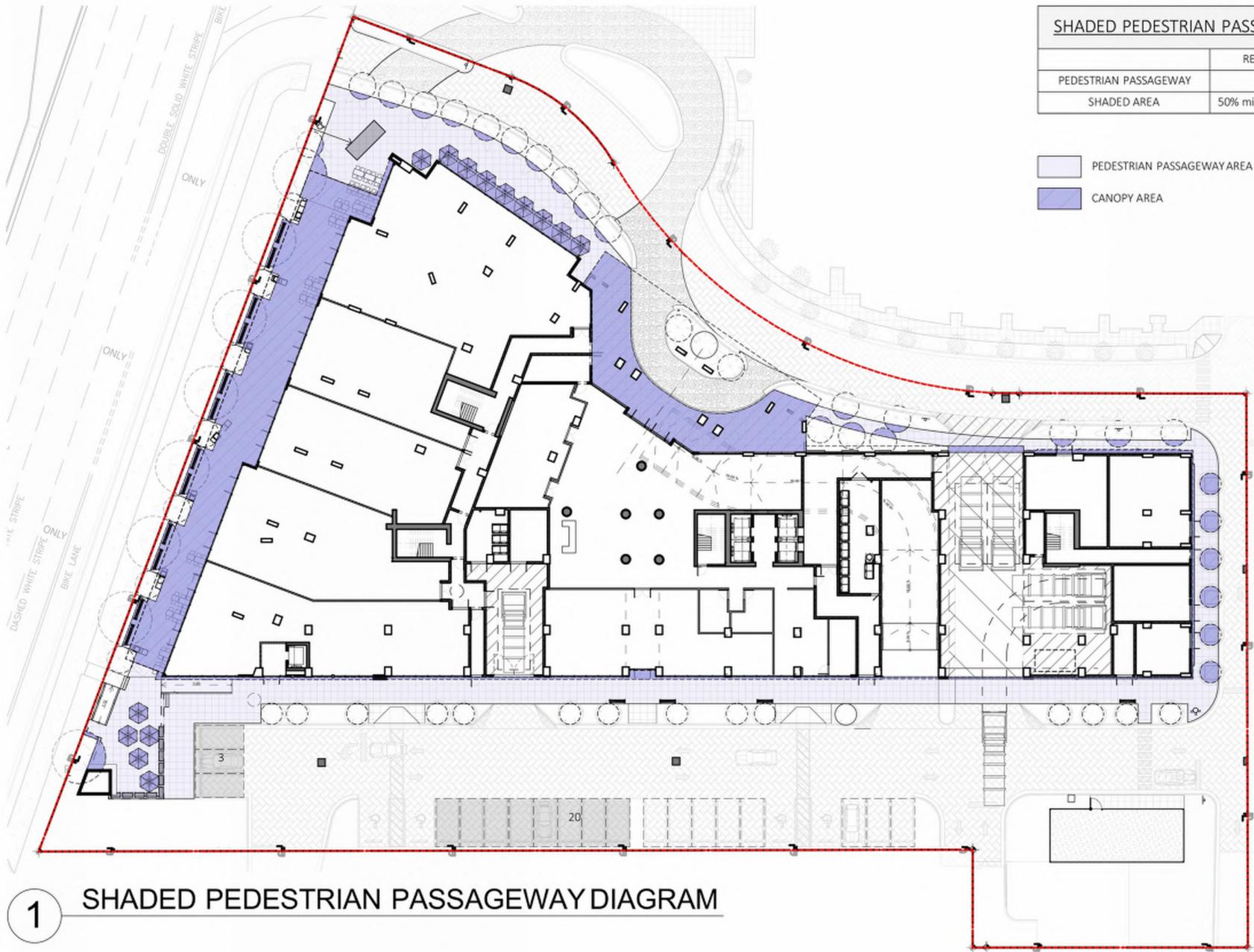


2 LOT COVERAGE / OPEN SPACE DIAGRAM

LOT COVERAGE / OPEN SPACE BREAKDOWN		
	REQUIRED	PROPOSED
LOT AREA	-	93,969 s.f.
LOT COVERAGE	-	53.5% (50,326 s.f.)
OPEN AREA	10% min. (9,397 s.f.)	46% (43,643 s.f.)

LOT COVERAGE AREA
OPEN SPACE AREA

ZONING COMMENT #12



SHADED PEDESTRIAN PASSAGEWAY BREAKDOWN		
	REQUIRED	PROPOSED
PEDESTRIAN PASSAGEWAY	-	15,531 s.f.
SHADED AREA	50% min. (7,766 s.f.)	50.5% (7,850 s.f.)

PEDESTRIAN PASSAGEWAY AREA
 CANOPY AREA

ZONING COMMENT #11

1 SHADED PEDESTRIAN PASSAGEWAY DIAGRAM

SOLESTE ON THE BAY

DEVELOPER:
The Estate Companies
 ROBERT SURIS
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STRUCTURAL ENGINEER:
 --

MULTI-FAMILY DEVELOPMENT FOR:
SOLESTE ON THE BAY

16375 BISCAYNE BOULEVARD
 NORTH MIAMI BEACH, FL 33160

REVISIONS:
 1 RESPONSE TO TRAD
 05-05-22

FORMGROUP
 architecture • planning

FORM GROUP, INC.
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PROJECT NO. 22-0210 TITLE: ZONING DIAGRAMS
 DATE: FEBRUARY 10, 2022
 SCALE: AS SHOWN DRAWING NO.: **DIAG-4**