

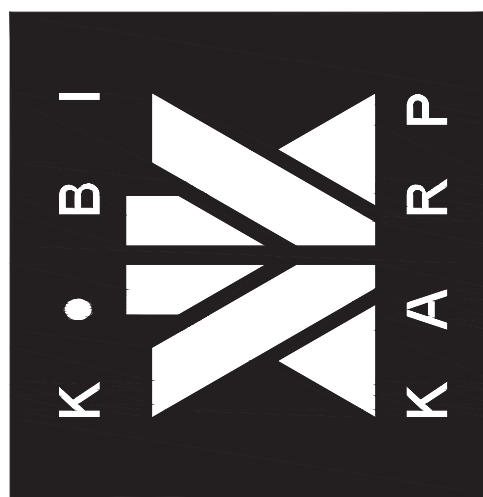
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851 NE 167TH STREET
 NORTH MIAMI BEACH, FL 33162
 LEVELS 12-15
 FLOOR PLAN

KOBİ KARP
 Lic. # AR0012578

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 PLANNING
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 2915 Biscayne Boulevard
 Suite 200
 Miami, Florida 33137
 P: 305.573.3766
 WWW.KOBİKARP.COM

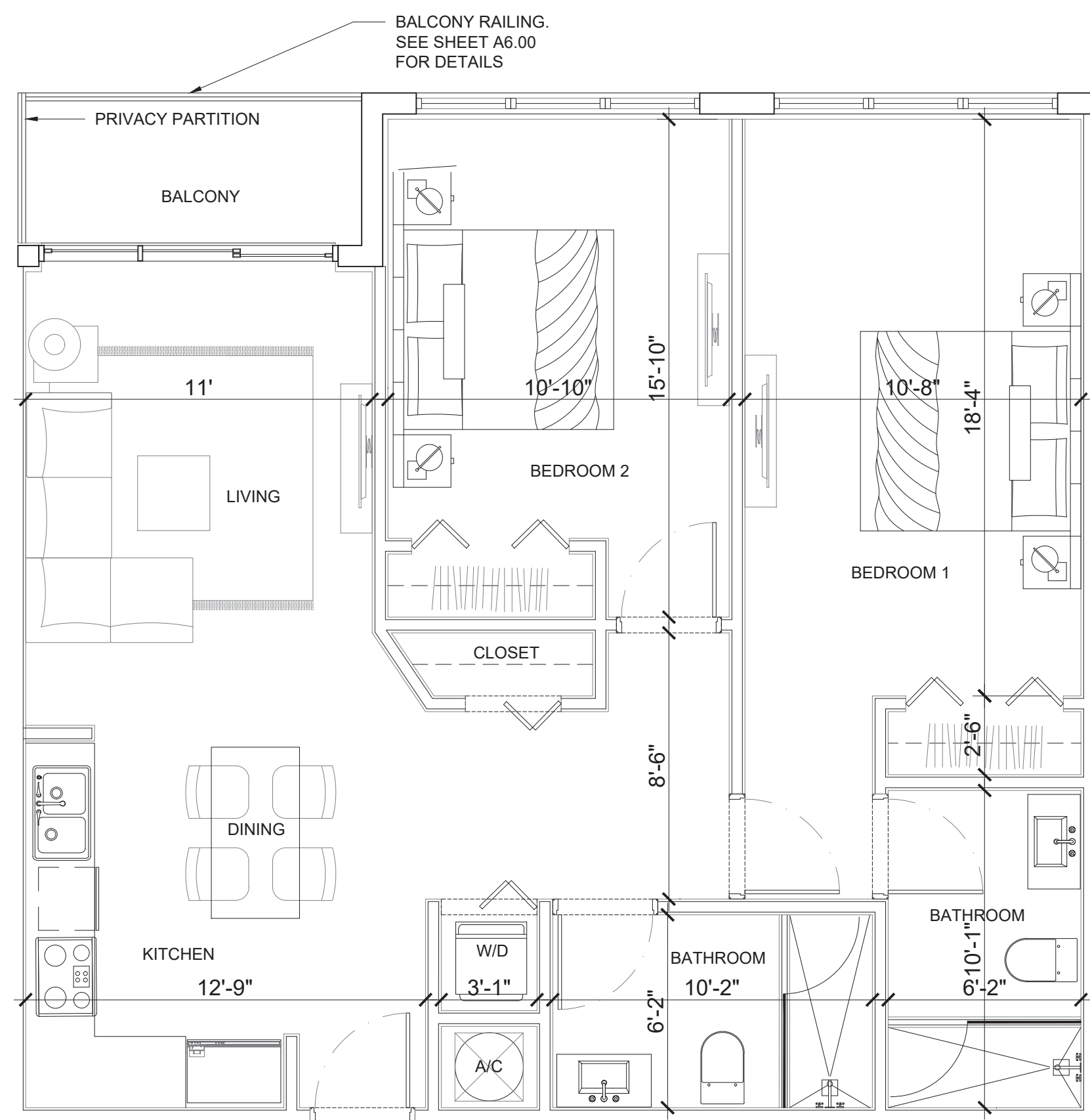


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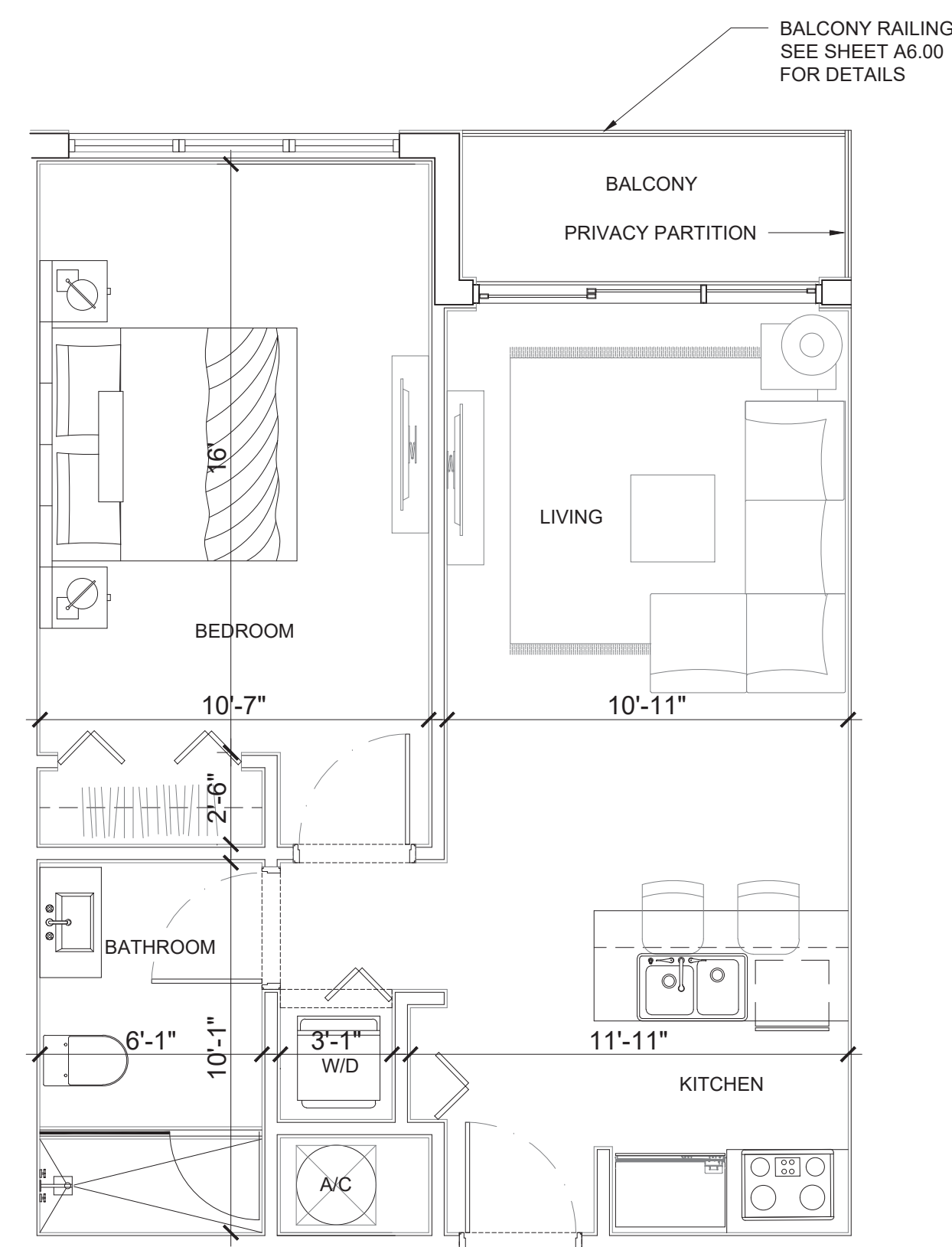
A3.07

1 LEVELS 12 - 15 FLOOR PLAN

Scale: 1/16" = 1'-0"



1 TYPICAL 2 BEDROOM SUITE - 1,050 SF
Scale: 1/4"=1'



2 TYPICAL 1 BEDROOM SUITE - 654 SF
Scale: 1/4"=1'

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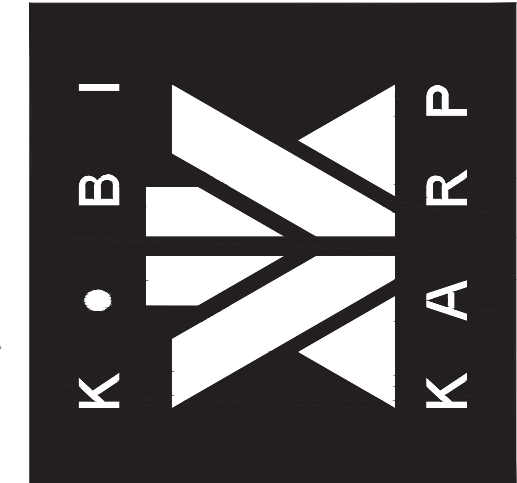
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TYPICAL UNITS



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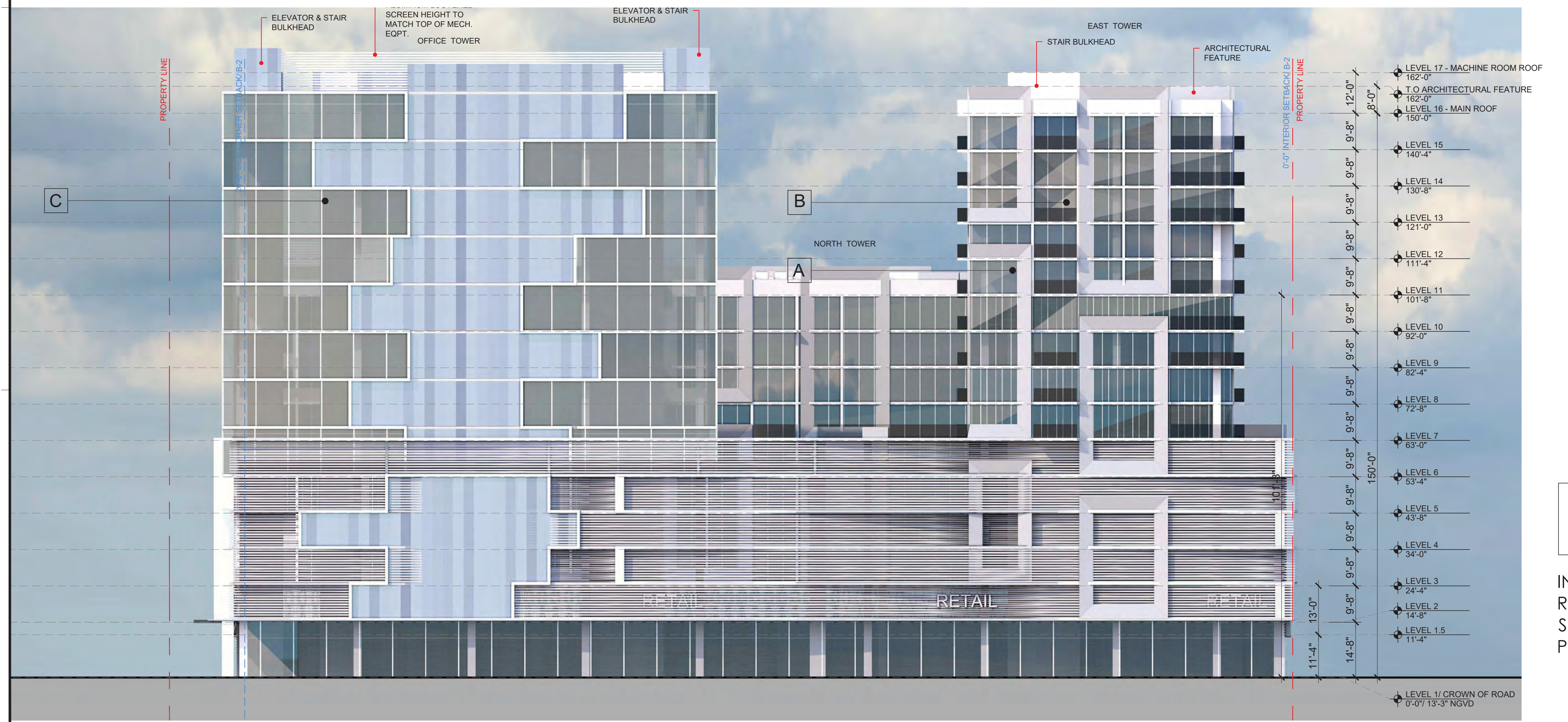


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DATE:	APRIL 15, 2021

A3.10



1 NORTH ELEVATION
SCALE: 1/16"=1'-0"



2 SOUTH ELEVATION
SCALE: 1/16"=1'-0"

- 

A STUCCO WALL FINISH
COLOR: BM GRAYTINT OR
SIMILIAR / LRV: 70.09
- 

B STUCCO WALL FINISH
COLOR: BM SILENT NIGHT OR
SIMILIAR / LRV: 45.61
- 

C STUCCO WALL FINISH
COLOR: BM DELRAY GRAY OR
SIMILIAR / LRV: 34.03

SIGN

INDIVIDUALLY ILLUMINATED REVERSE CHANNEL LETTERS, TYP.
RETAIL/ COMMERCIAL SIGN TO COMPLY WITH ARTICLE XIII,
SEC 24-147(G) & SEC. 24-149.1(A) SIGN DETAILS TO BE
PROVIDED AT TIME OF PERMIT

3 SIGN DETAIL
32 SF Scale: 1/4"=1'-0"

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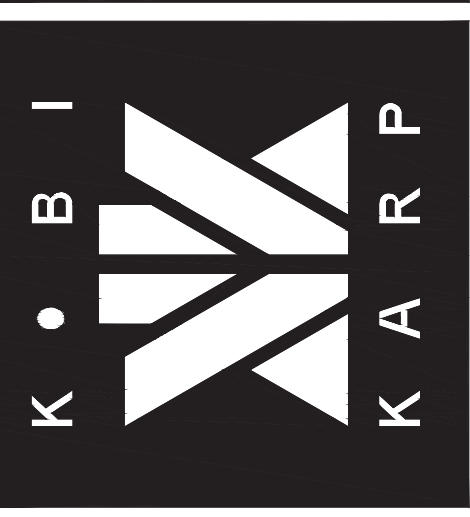
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NORTH & SOUTH
ELEVATION

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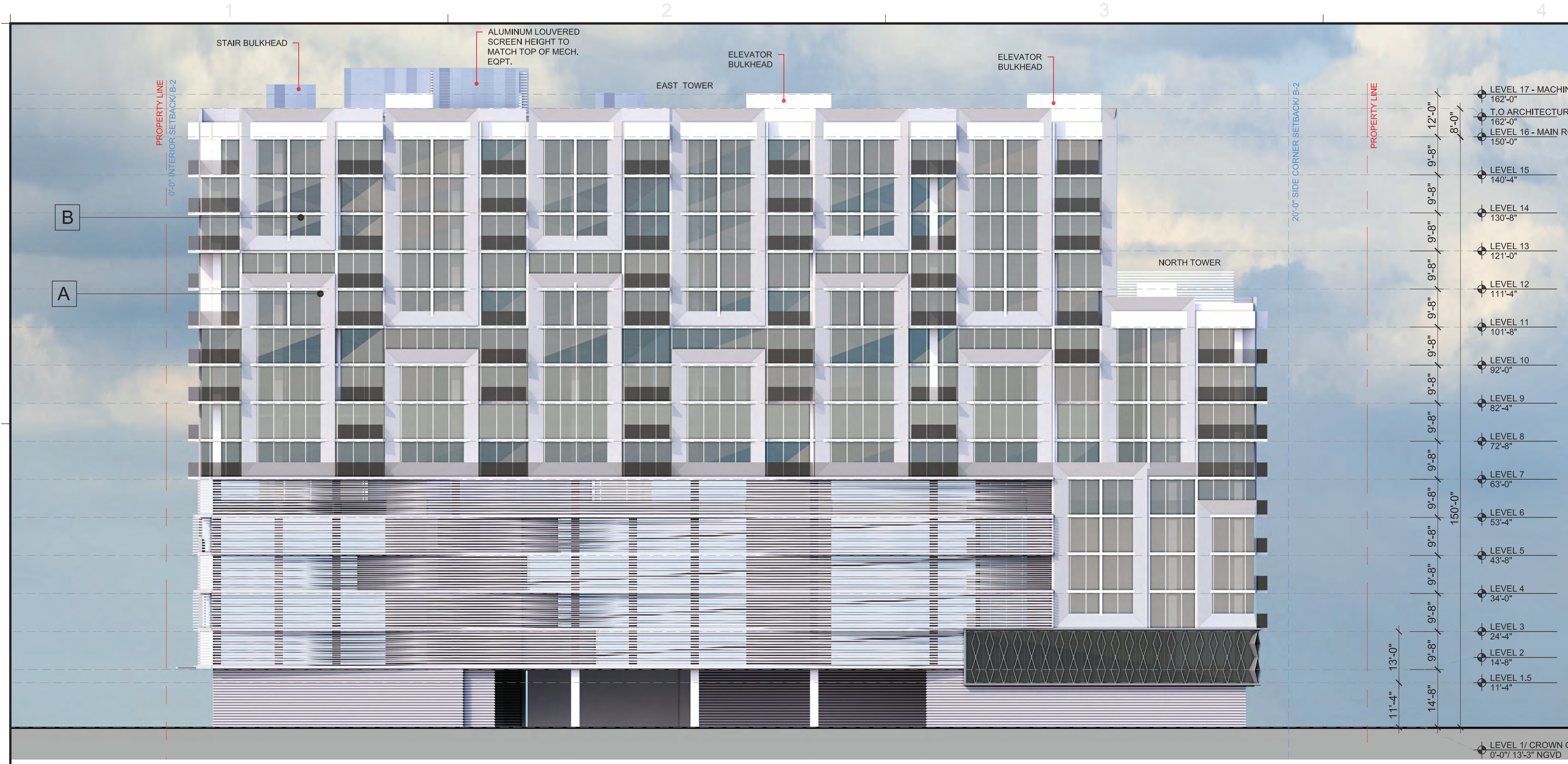
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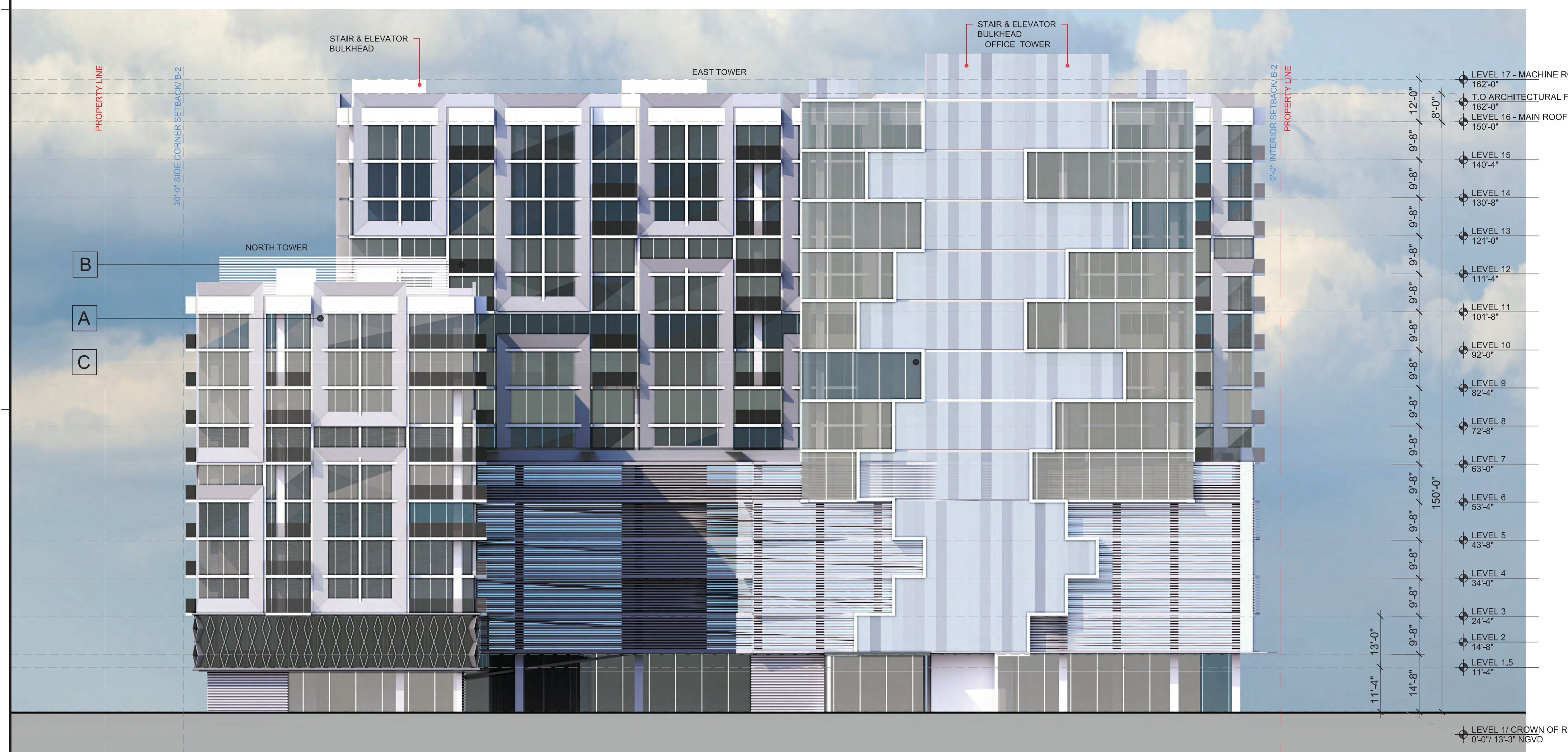


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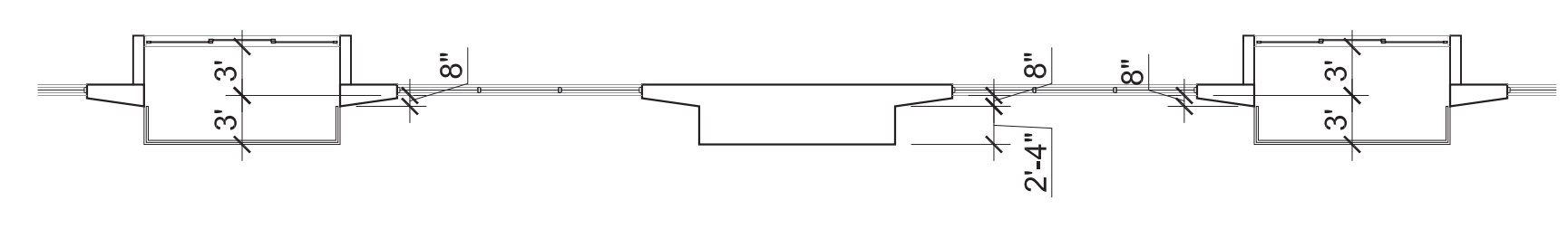
A4.00



1 EAST ELEVATION
SCALE: 1/16"=1'-0"



2 WEST ELEVATION
SCALE: 1/16"=1'-0"



3 TYP. FACADE UNDULATION DIAGRAM
N.T.S.

- A
 STUCCO WALL FINISH
 COLOR: BM GRAYTINT OR
 SIMILIAR / LRV: 70.09

- B
 STUCCO WALL FINISH
 COLOR: BM SILENT NIGHT OR
 SIMILIAR / LRV: 45.61

- C
 STUCCO WALL FINISH
 COLOR: BM DELRAY GRAY OR
 SIMILIAR / LRV: 34.03

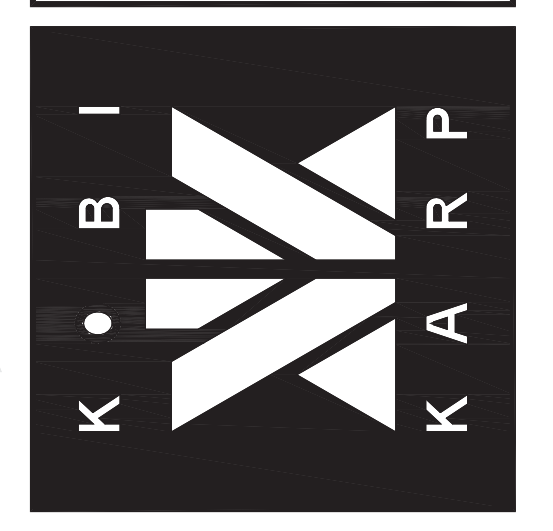
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851 NE 167TH STREET
 NORTH MIAMI BEACH, FL 33162
EST & WEST
 ELEVATION

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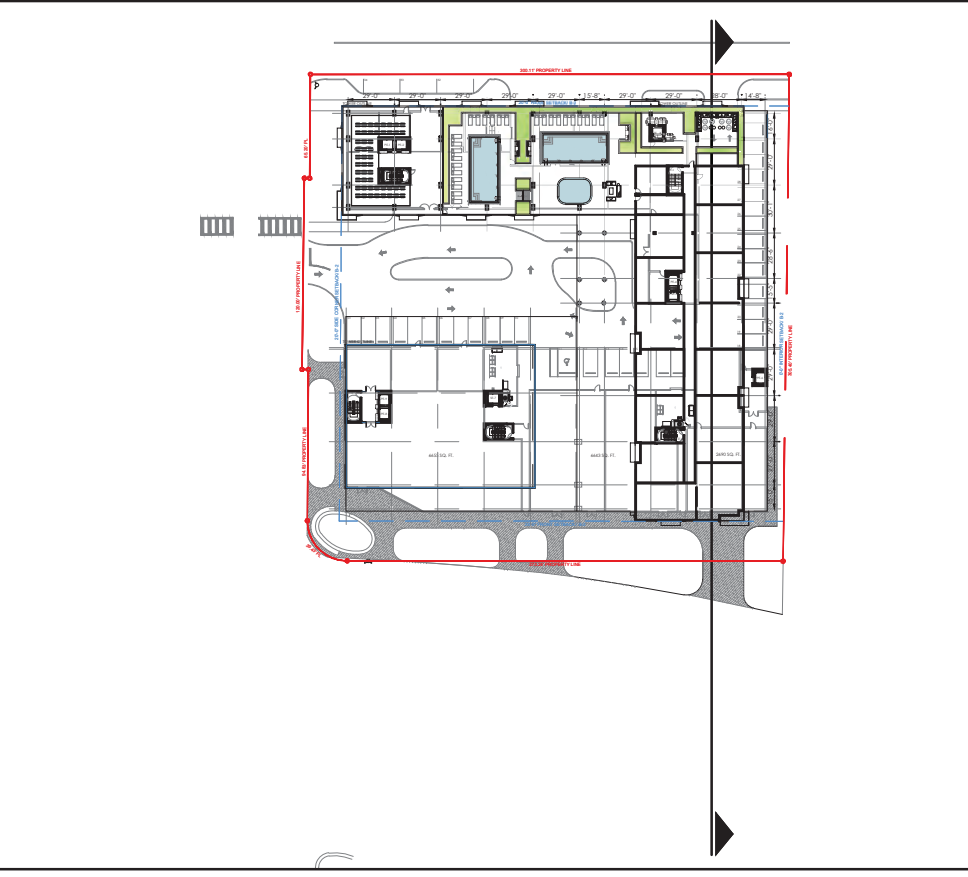
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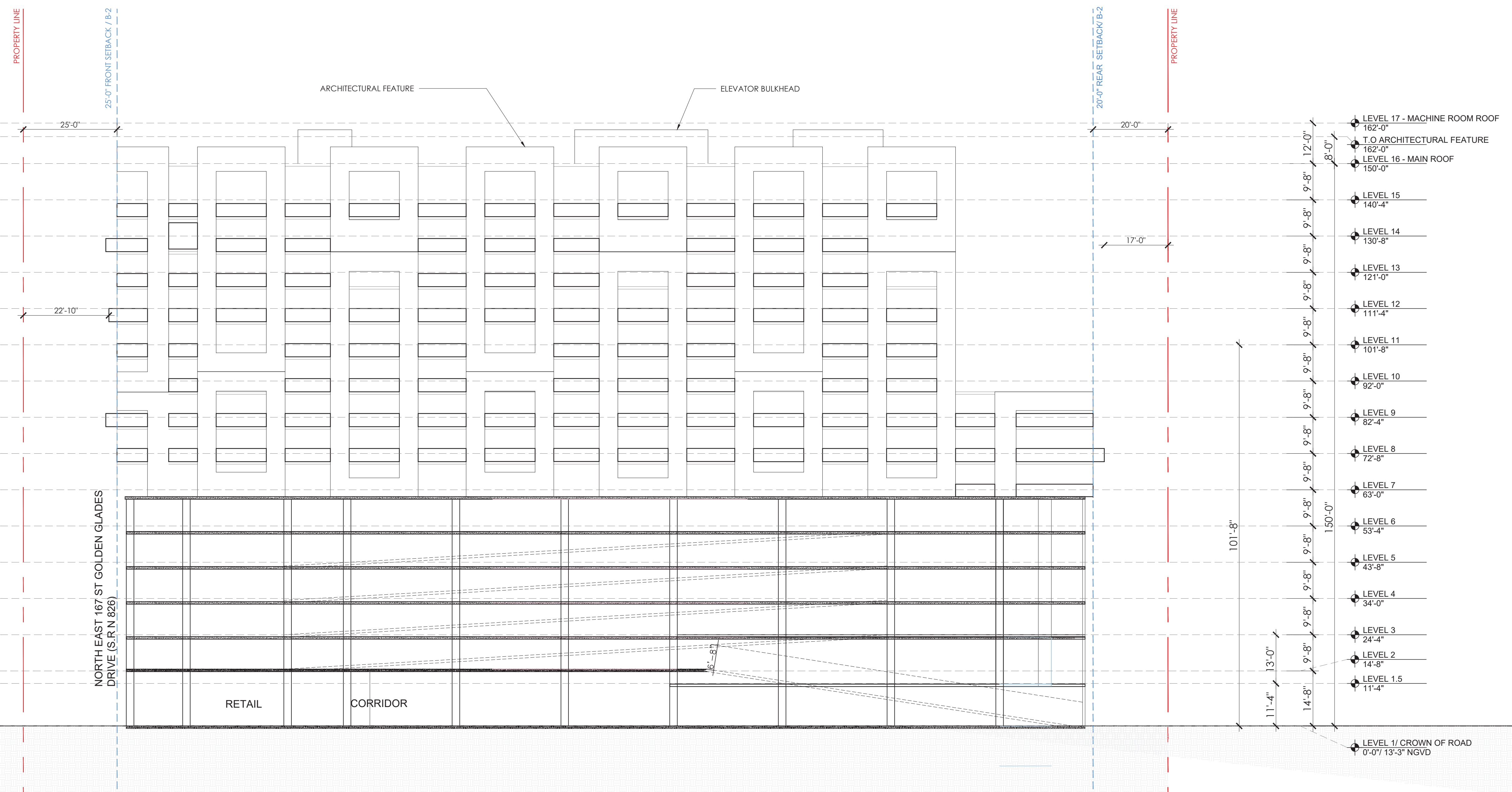
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A4.01

1 2 3 4 5



KEY PLAN



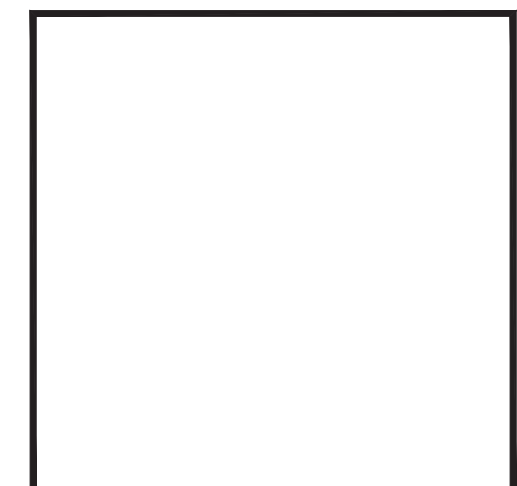
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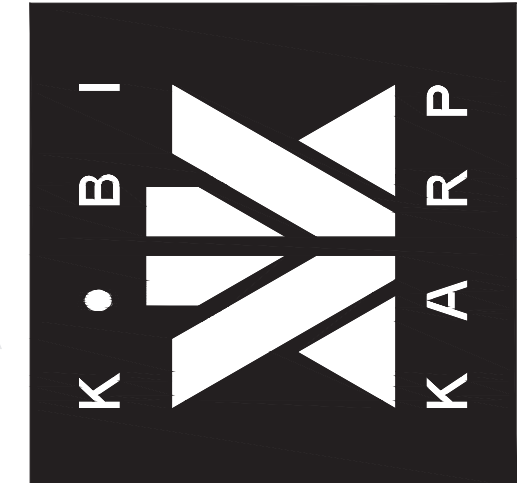
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BUILDING SECTIONS



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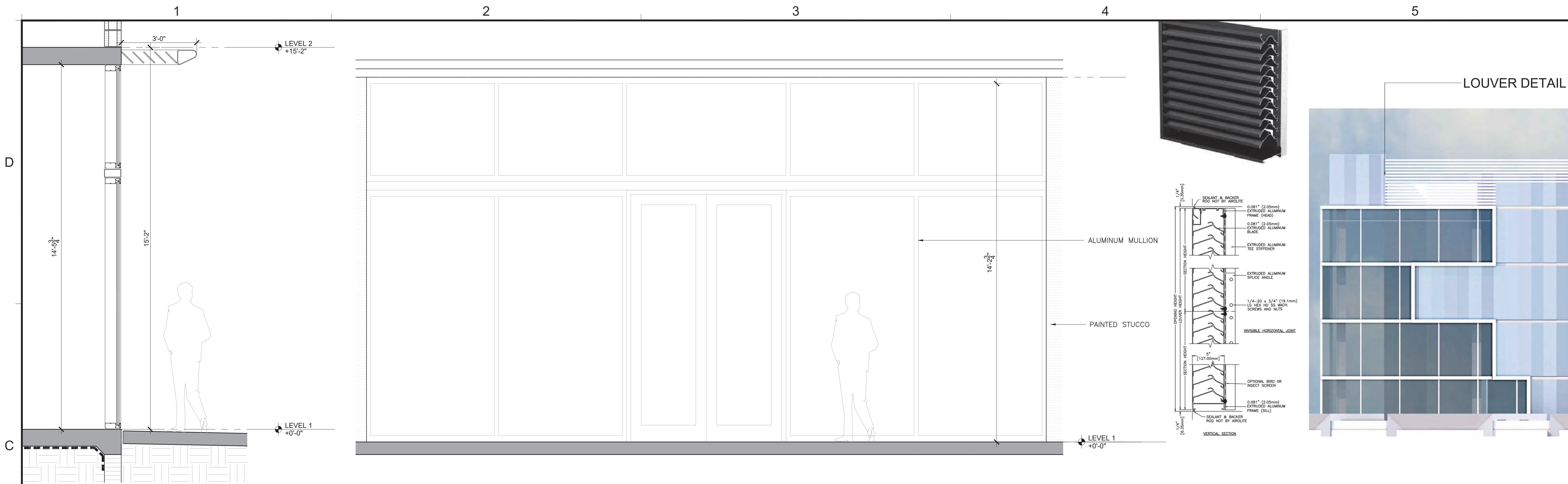
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A5.00

1 BUILDING SECTION

Scale: 1/16" = 1'-0"

1 2 3 4 5



① TYPICAL AWNING SECTION
Scale: 1/2"=1'

② TYPICAL RETAIL ELEVATION
Scale: 1/2"=1'

③ TYPICAL MECH LOUVER DETAIL
Scale: N.T.S

A

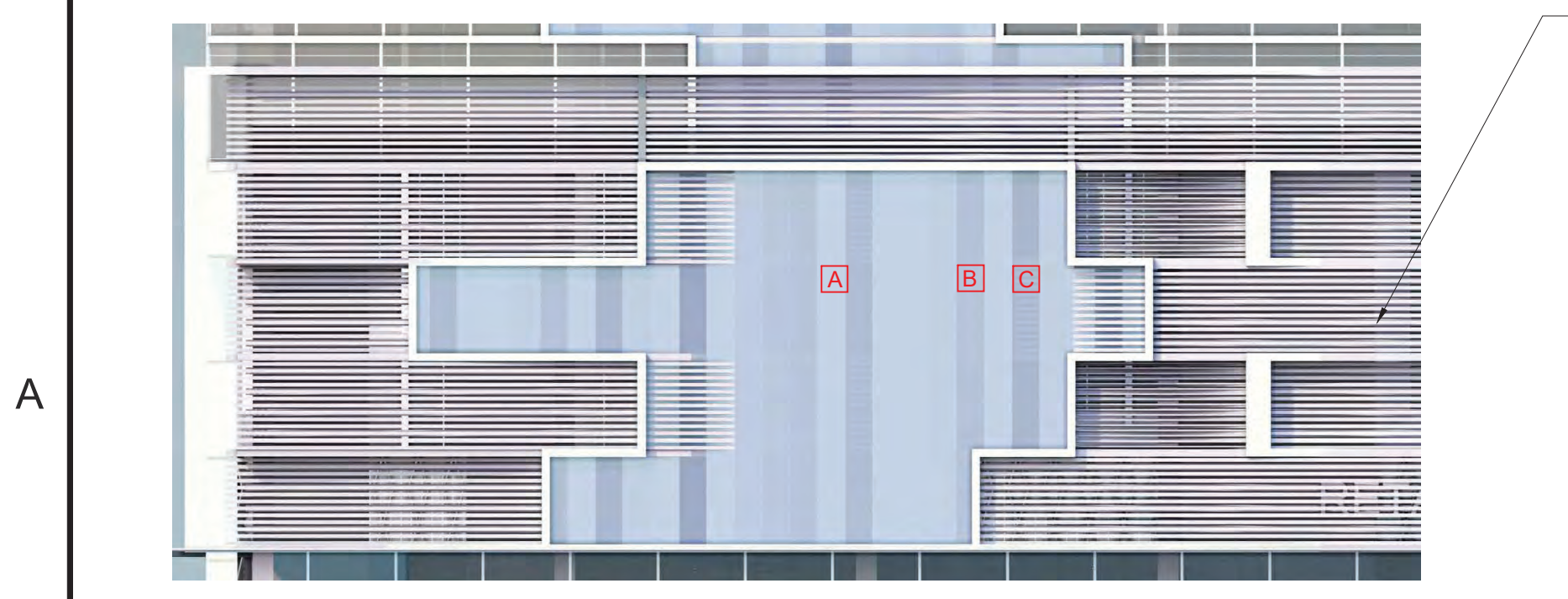
STUCCO WALL FINISH
COLOR: BM GRAYTINT
OR SIMILIAR / LRV:
70.09

B

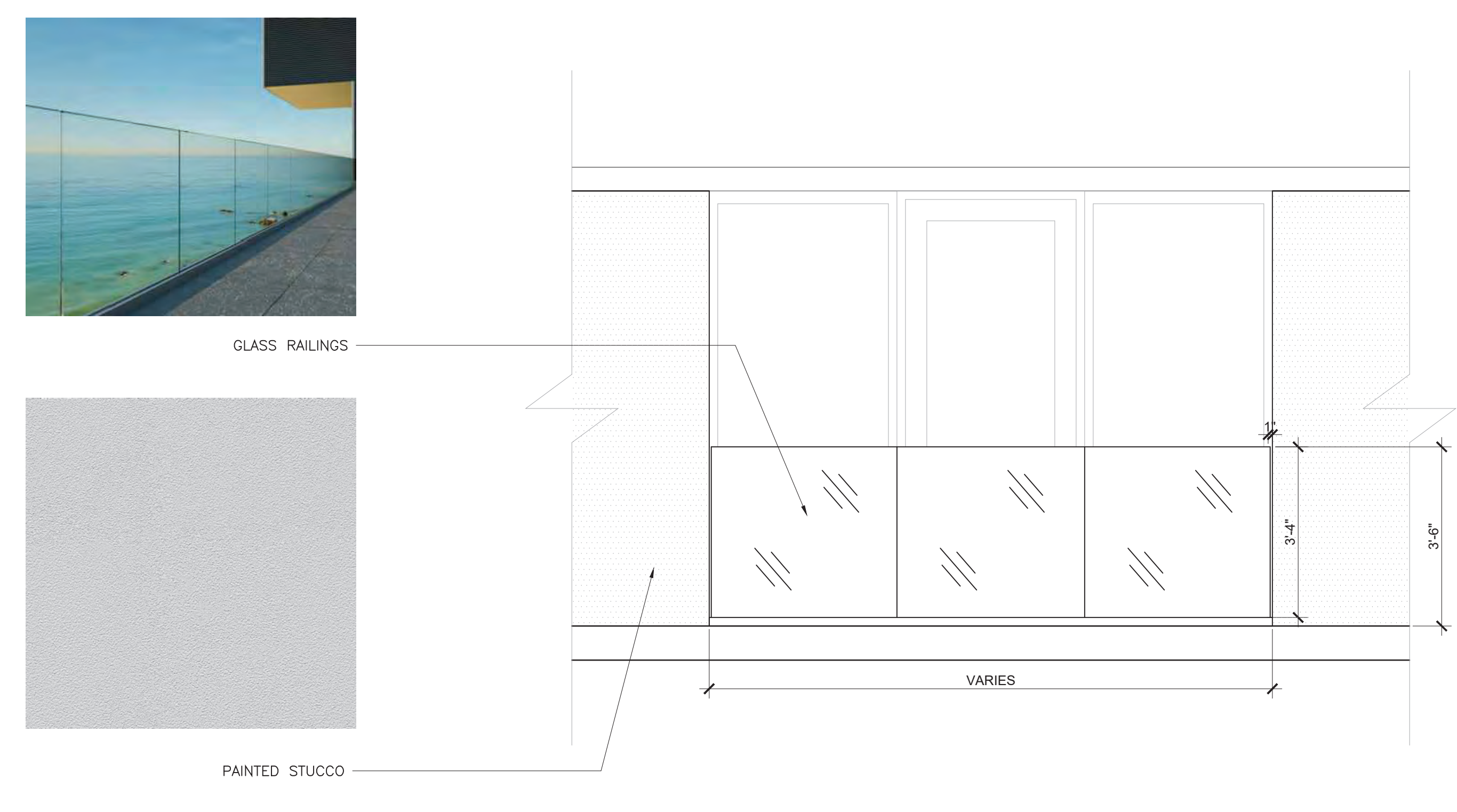
STUCCO WALL FINISH
COLOR: BM
SILENT NIGHT OR
SIMILIAR / LRV:
45.61

C

STUCCO WALL FINISH
COLOR: BM DELRAY
GRAY OR SIMILIAR /
LRV: 34.03



④ TYPICAL PARKING LOUVER DETAIL
Scale: N.T.S



⑤ RAILING - GLASS
Scale: 1/2"=1'

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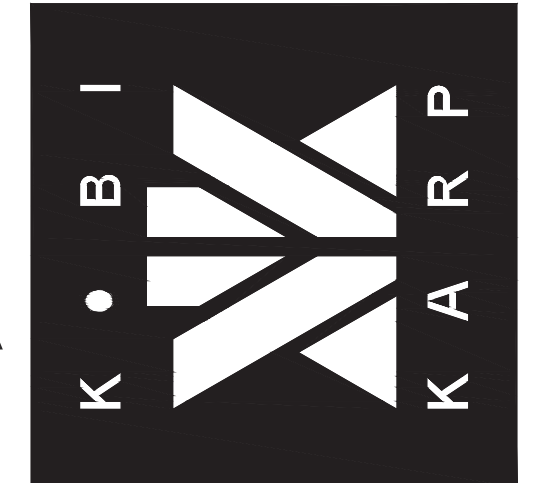
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DETAILS

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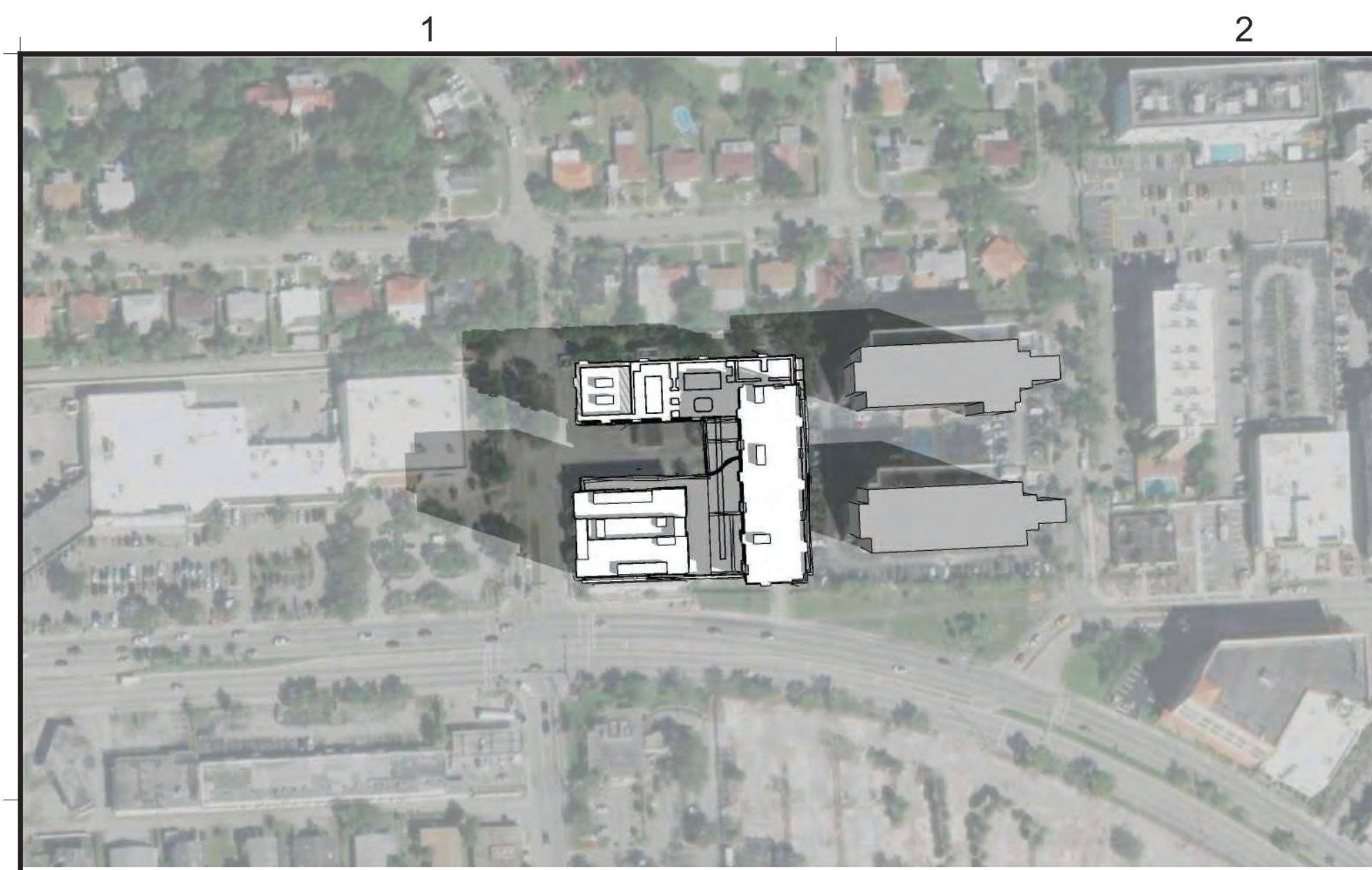
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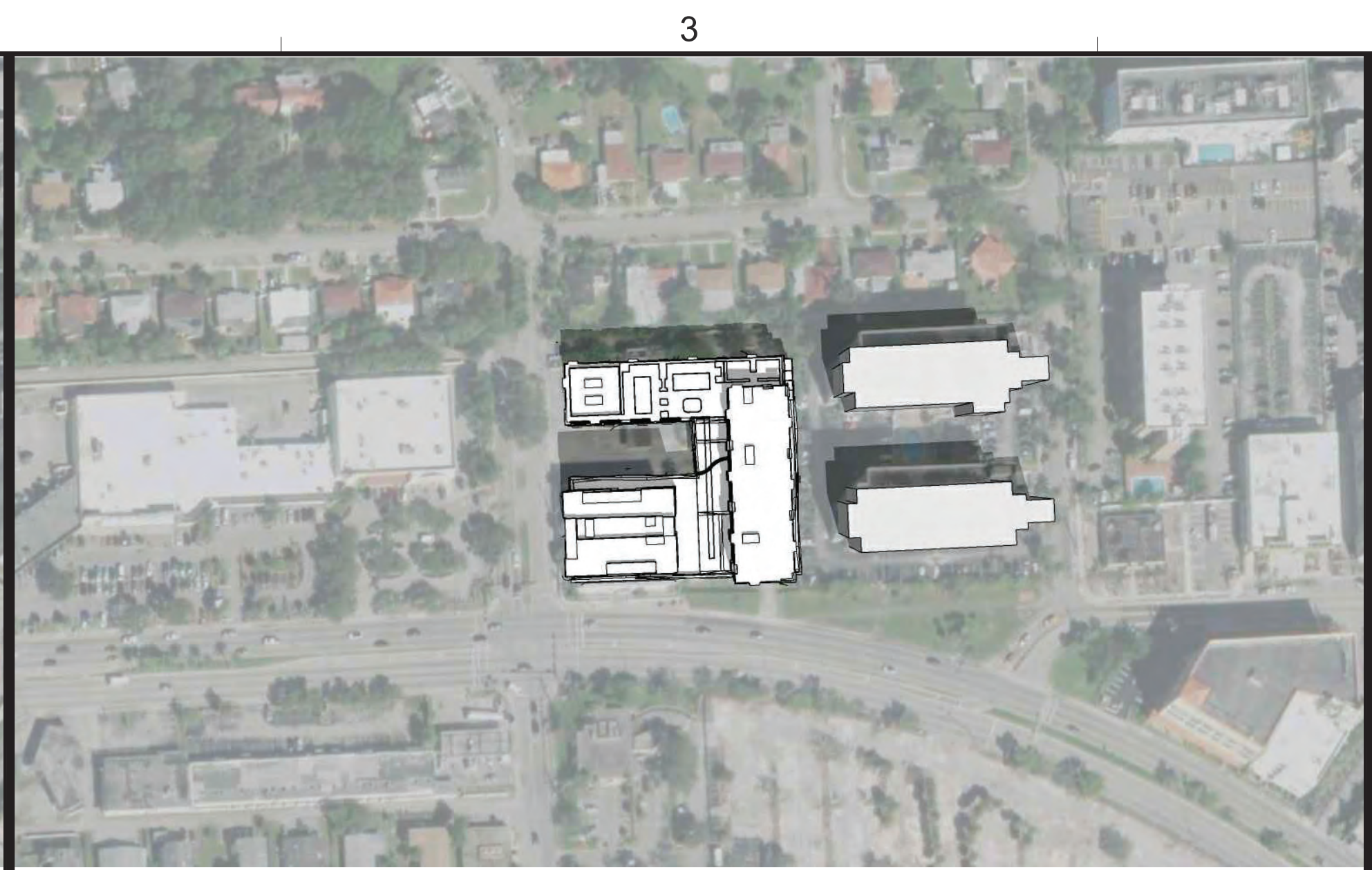


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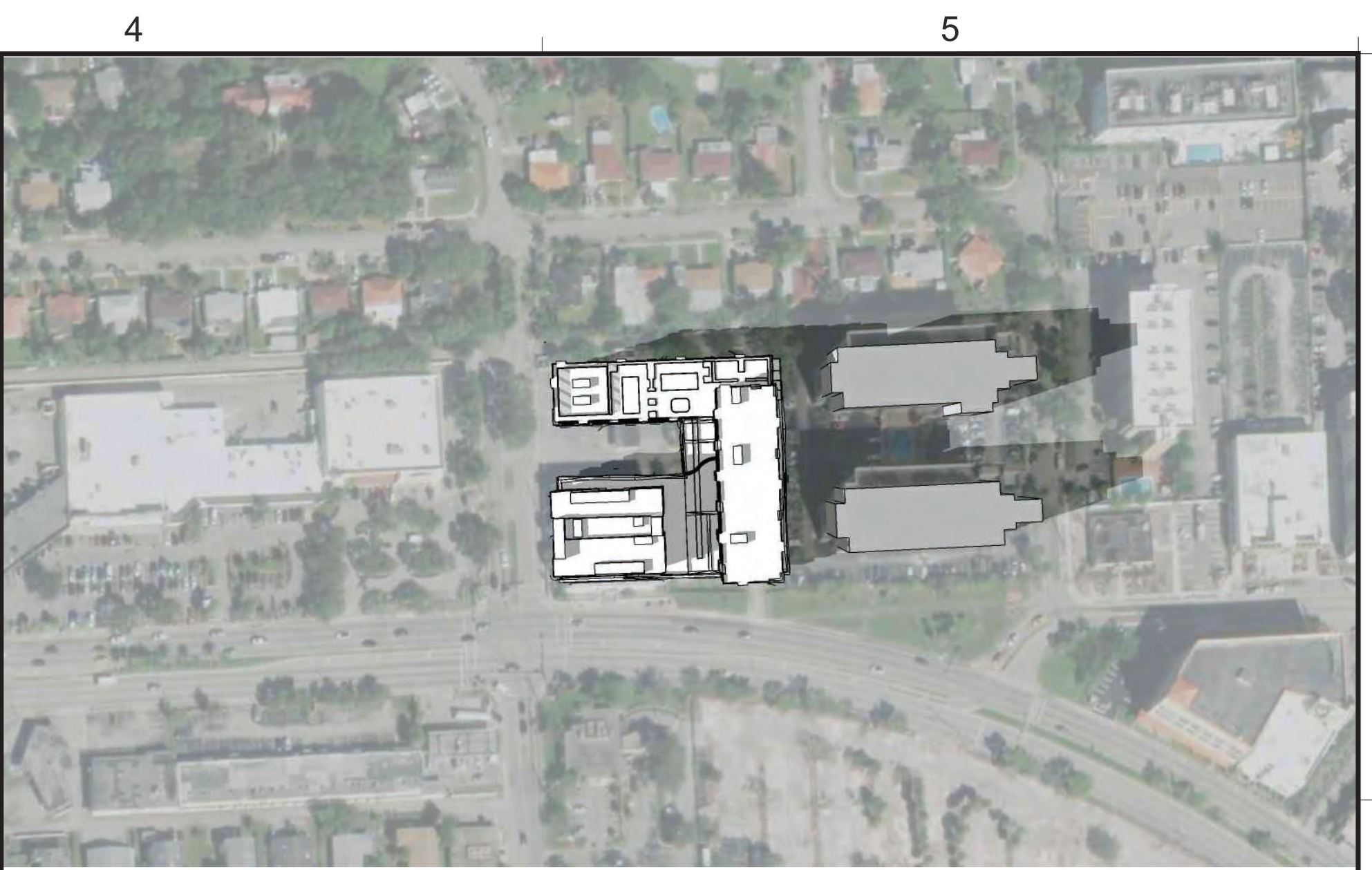
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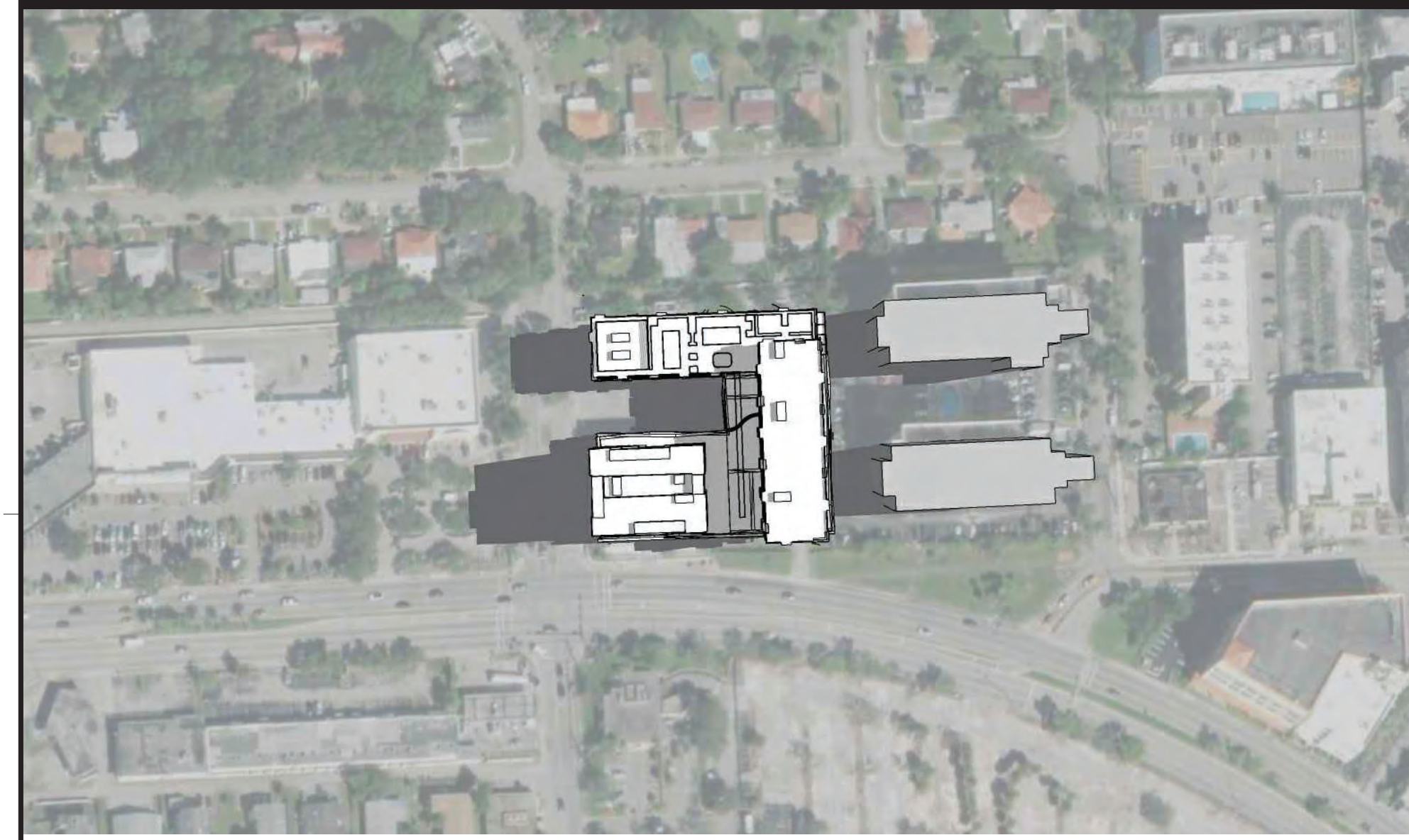
① MARCH 21 - 9:00 AM



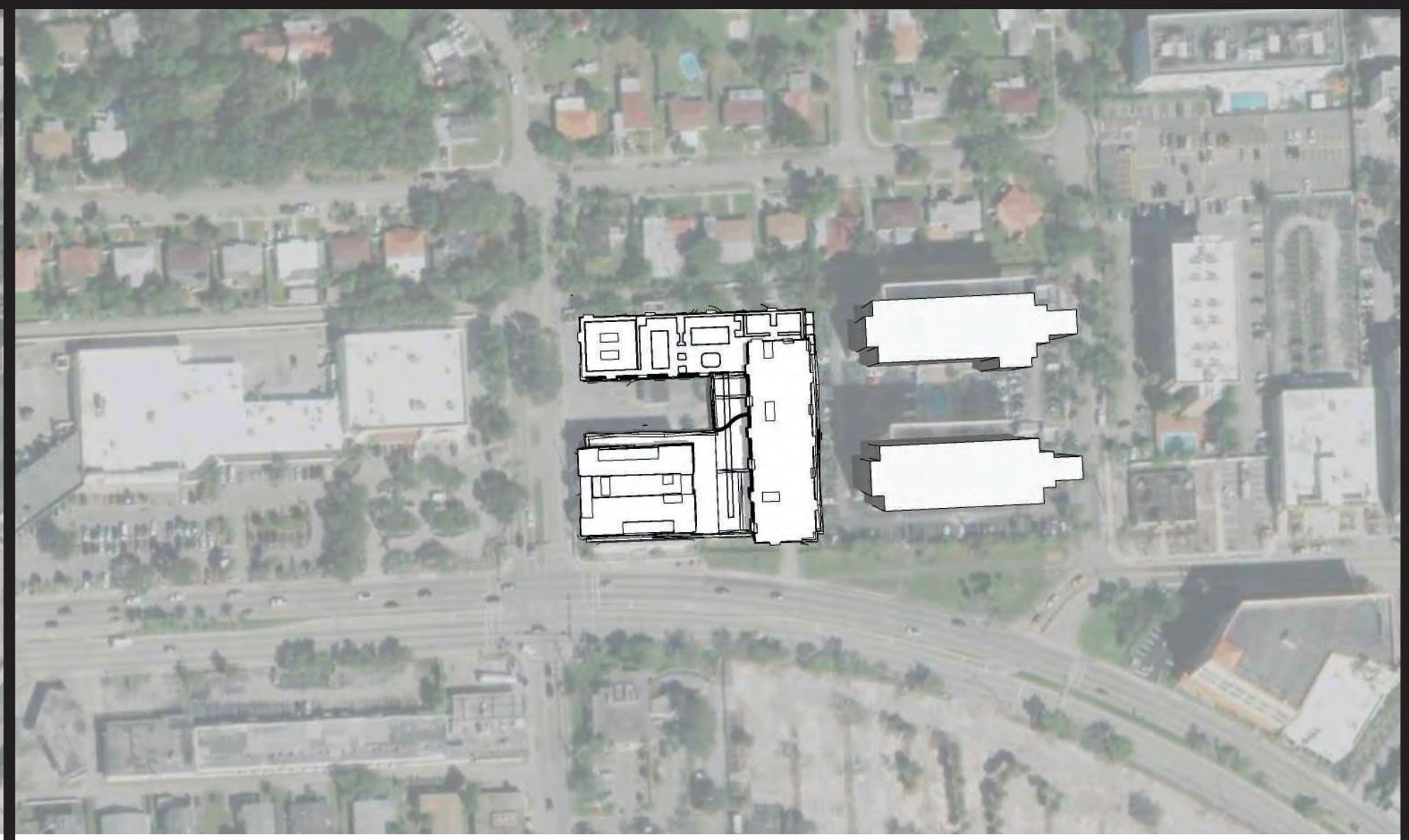
② MARCH 21 - 12:00 PM



③ MARCH 21 - 4:00 PM



④ JUNE 21 - 9:00 AM



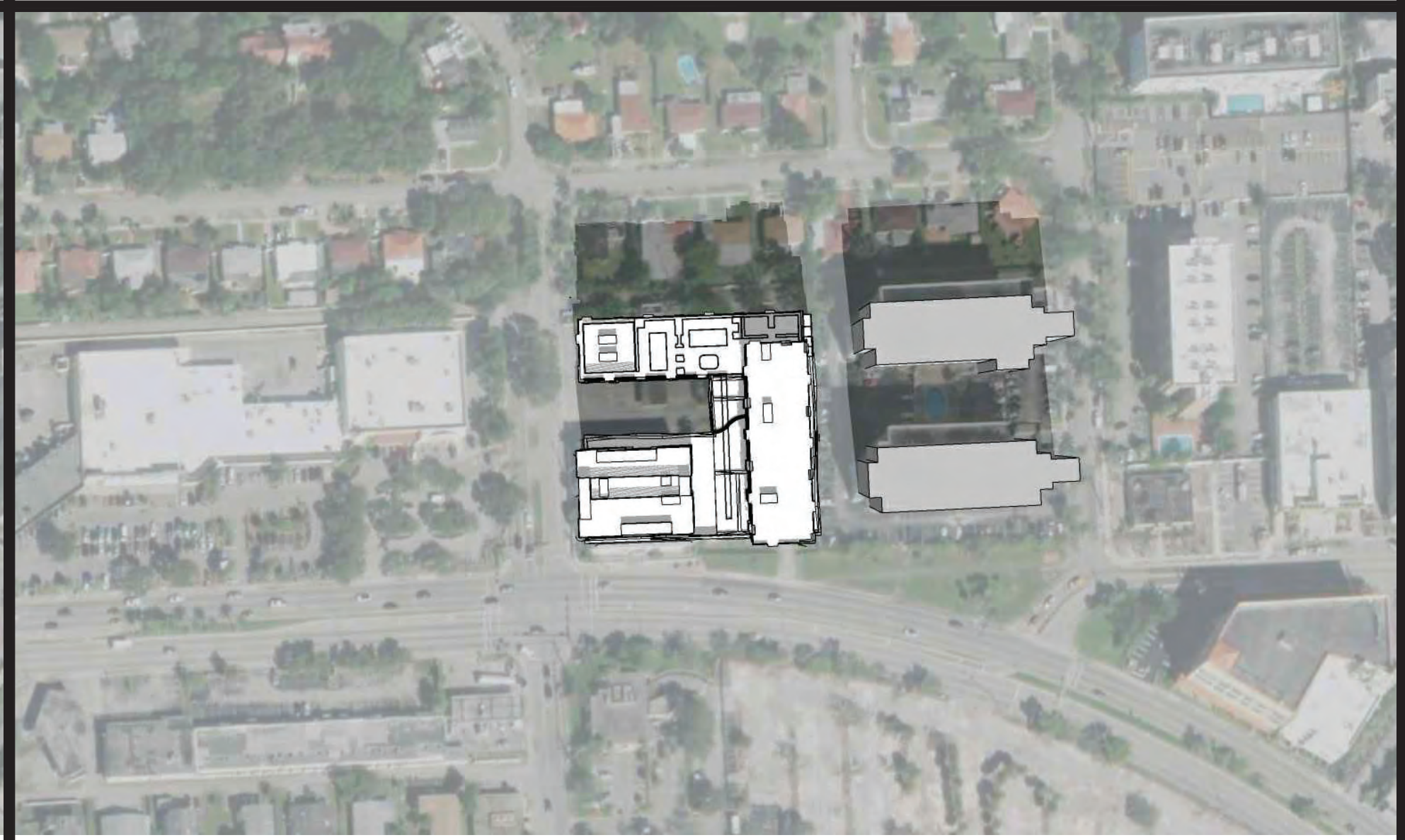
⑤ JUNE 21 - 12:00 PM



⑥ JUNE 21 - 4:00 PM



⑦ DECEMBER 21 - 9:00 AM



⑧ DECEMBER 21 - 12:00 PM



⑨ DECEMBER 21 - 4:00 PM

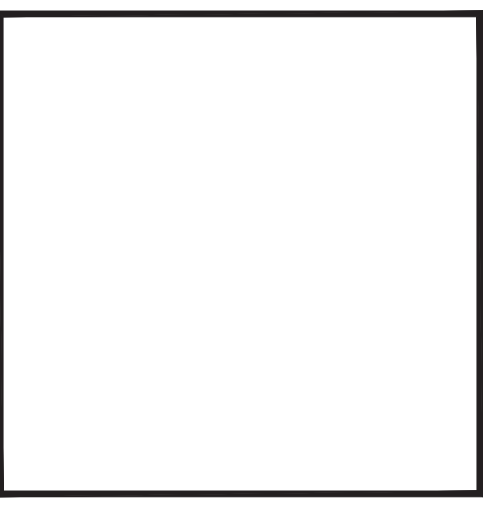
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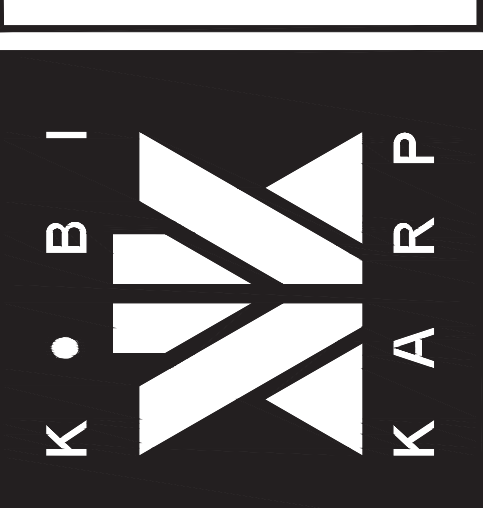
SHADOW STUDY



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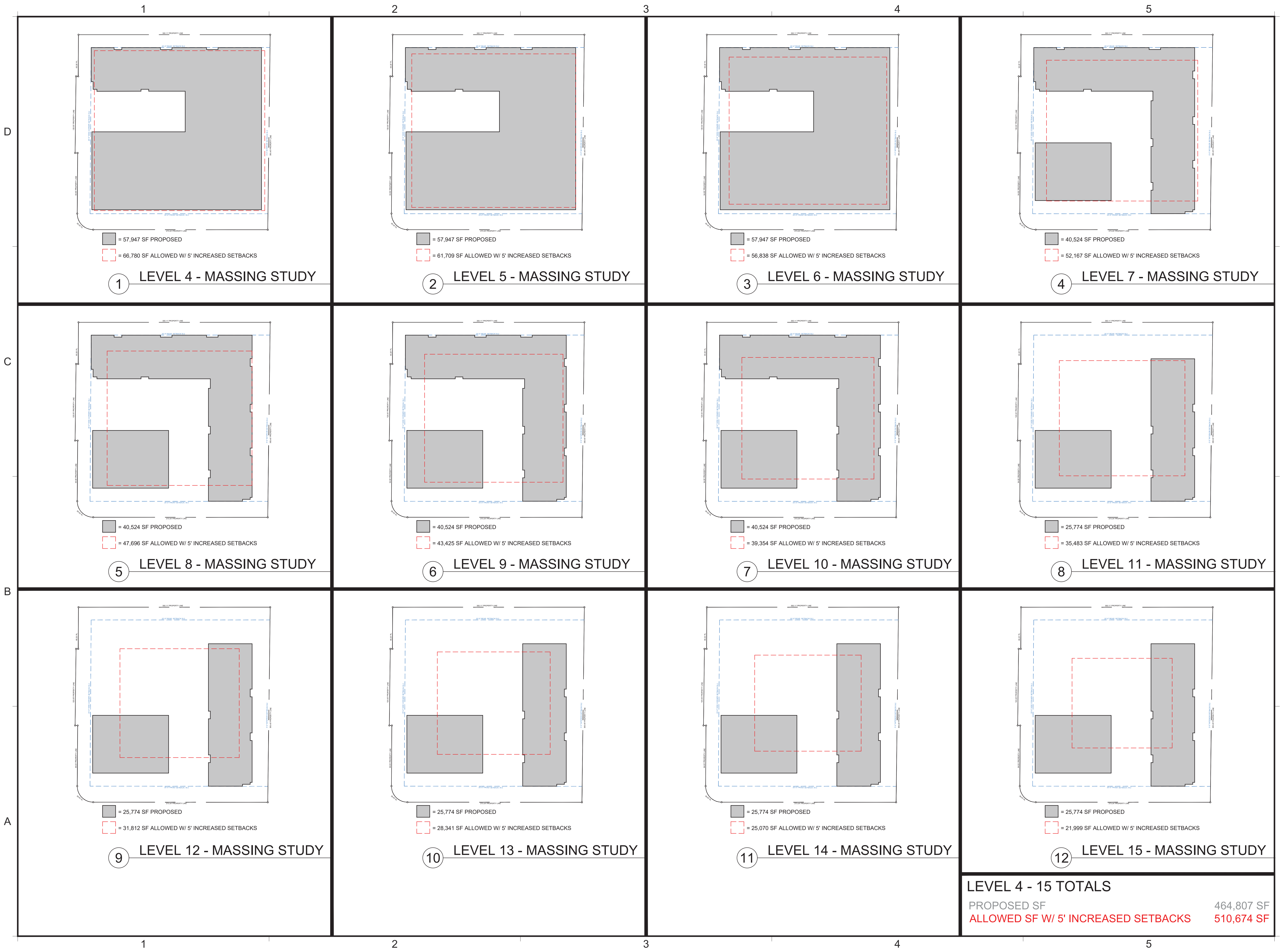
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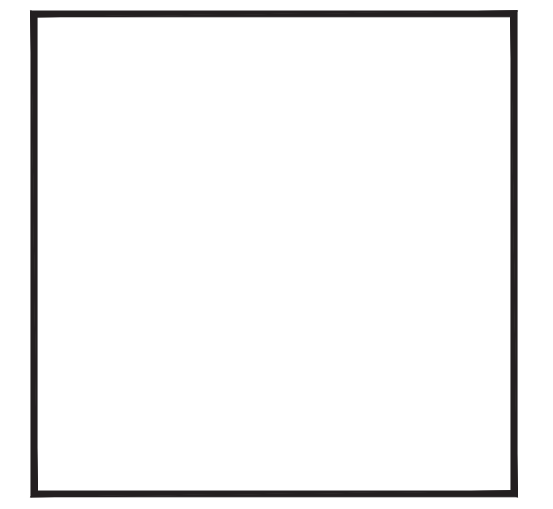
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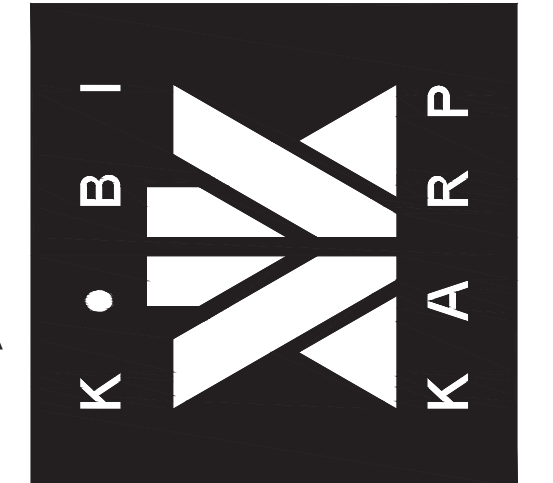
MASSING STUDY



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DATE:	JULY 15, 2021

A7.01

1

2

3

4

5

699 NE 167th STREET
12 STORIES
160'-0"

705 NE 167th STREET
2 STORIES
30'-0"

PROPOSED
NORTH TOWER
10 STORIES
101'-8"

PROPOSED SOUTH/EAST TOWERS
15 STORIES
150'-0"

GATEWAY HOUSE CONDOMINIUM
8 STORIES
90'-0"

SELF STORAGE
5 STORIES
80'-0"

D

C

B

A

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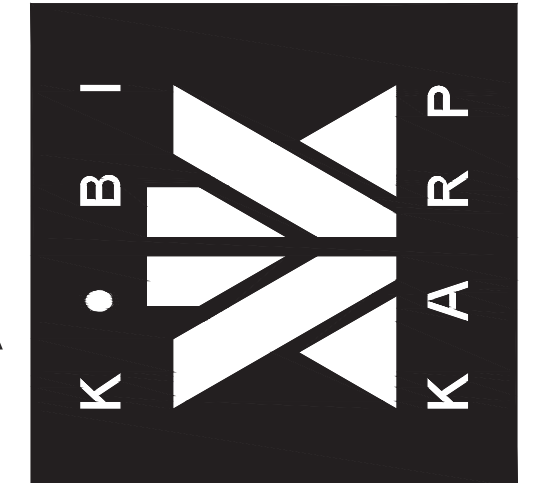
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HEIGHT STUDY

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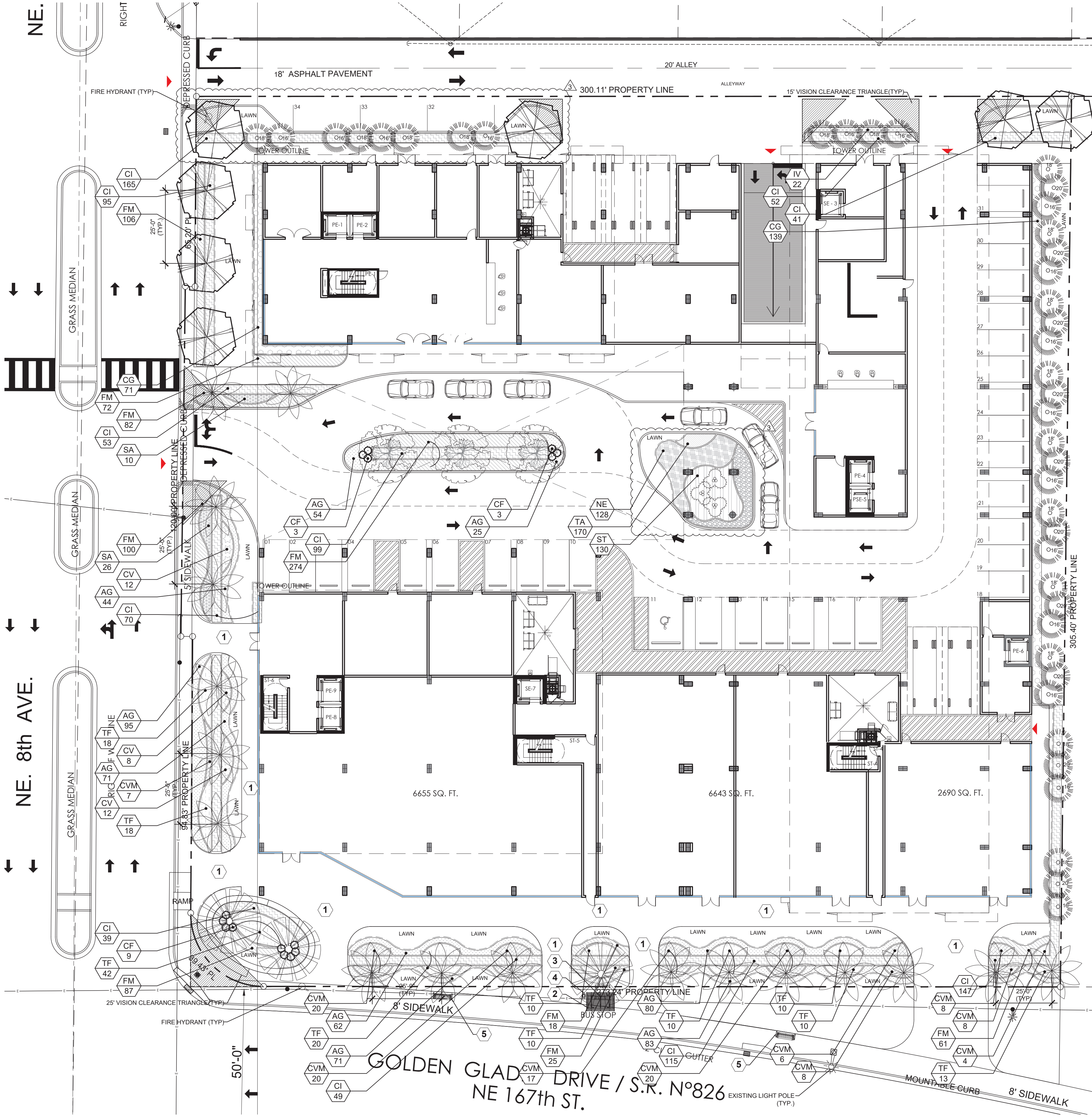
1

2

3

4

5



LANDSCAPE LIST

TREES/PALMS

SYMBOL	QUAN.	PROPOSED MATERIAL	18" O.C.
3	3	*Bursera simaruba GUMBO LIMBO	12' HT. X 5' SPR. 3" DBH. F.G.
3	3	Chamaedorea erumpens BAMBOO PALM	8' C.T., FULL CLUMP F.G.
3	3	Phoenix dactylopera 'Medjool' MEDJOOl DATE PALM	10' C.T., Min. 20" O.A. HT. F.G.
7	7	*Quercus virginiana LIVE OAK	12' HT. X 5' SPR. 3" DBH. F.G.
17	17	*Ryostonea elata ROYAL PALM	12' G.W., 20" O.A. HT. MIN. F.G., MATCHED HTS.
42	42	*Sabal palmello SABAL PALM	16-20" O.A. HT., STAGGERED HTS., SEE PLAN F.G., STAGGERED HTS.

SHRUBS AND GROUNDCOVERS

SYMBOL	QUAN.	PROPOSED MATERIAL	18" O.C.
AG	585	Arachis glabra 'Ecoturf' ORNAMENTAL PEANUT	1 GAL. FULL
CF	15	Cordyline fruticosa 'Xerox' XEROX TI PLANT	3' O.A. HT. 3 PPP 7 GAL.
CG	210	*Clusia guttifera SMALL LEAF CLUSIA	36" HT. X 24" SPR. / 24" O.C. 7 GAL.
CI	925	*Chrysobalanus icaco 'Red Tip' RED TIP COCOPLUM	24" MIN. HT. X 18" SPR. / 18" O.C. --
CV	32	Codiaeum variegatum 'Gold Dust' GREEN-YELLOW CROTON	24" HT. X 24" SPR. / 24" O.C. 3 GAL.
CVM	118	Codiaeum variegatum 'Magnificent' MAGNIFICENT CROTON	24" HT. X 24" SPR. / 24" O.C. --
FM	825	Ficus microcarpa 'Green Island' GREEN ISLAND FICUS	15" HT. X 15" SPR. / 15" O.C. 3 GAL.
IV	22	*Ilex vomitoria 'Stokes Dwarf' DWARF YAUPON	15" HT. X 15" SPR. / 18" O.C. 3 GAL.
LAWN	As Required	Stenotaphrum secundatum 'Floralam' ST. AUGUSTINE GRASS	SOLID EVEN SOD
NE	128	*Nephrolepis exaltata BOSTON FERN	18" HT. X 18" SPR. / 18" O.C. 3 GAL. FULL
SA	36	Schefflera arboricola 'Trinetta' TRINETTE DWARF SCHEFFLERA	24" HT. X 24" SPR. / 24" O.C. 3 GAL.
ST	130	Saravertia bifasciata 'Black Gold' VARIEGATED SNAKE PLANT	18" HT. X 18" SPR. / 18" O.C. 3 GAL.
TF	161	*Tripsacum floridana DWARF FAKAHATCHEE GRASS	24" HT. X 24" SPR. / 24" O.C. 3 GAL.
TA	170	*Trachelospermum asiaticum 'Mima' Small Leaf Confederate Jasmine	6" HT. X 6" SPR. / 6" O.C. 1 GAL.

NOTE: All locations of plant materials shall be coordinated with the location of other elements of the site plan, particularly lighting fixtures and light poles. Landscaping and lighting shall not be placed in such a way as to cause the diminishment of illumination due to the placement of the lighting poles and plant materials or the future growth of the plant materials.

NORTH MIAMI BEACH LANDSCAPE LEGEND

ZONE DISTRICT: B-2 General Business District
Lot Area: 91,664 (s.f.) = 2.10 ac

	REQ.	PROV.
Perimeter Landscape Requirement: 1 Tree every 25 linear feet & continuous hedge		
West Perimeter: NE 8th Avenue 263 total linear feet: 253 / 25 = 10.12	10 trees	10 trees
North Perimeter: 210 total linear feet: 210 / 25 = 8.4	8 trees	8 trees
East Perimeter: 302 total linear feet: 302 / 25 = 12.08	12 trees	12 trees
South Perimeter: 296 total linear feet: 296 / 25 = 11.84	12 trees	12 trees
Total Trees Required:	42 trees	44 trees
Maximum Lawn Area (50% of Pervious Area) 20,641 sf x 50% =	10,321 SF MAX.	9,827 SF
25% Palms Required (3 Palms = 1 tree, with exception of Royal and Date Palms, which are counted at 1 Palm = 1 Tree)	11 Palms	34 Palms

SITE FINISHES/ AMENITIES LEGEND

GROUND LEVEL PAVER MANUFACTURER: BELGARD STYLE: ECO-HOLLAND PERMEABLE PAVER COLOR: SLATE SIZE: 4" X 8" X 2 3/8" PATTERN: HERRINGBONE, SAND SET ON 2" COMPACTED SAND.	TREE MITIGATION
SHADE TREE TYPE 1 (12' HT.)	Canopy Credit: 500 S.F., Quantity: 10, Square Foot Total: 5,000
PALM TREE TYPE 1 (10' C.T.)	300 S.F., Quantity: 20, Square Foot Total: 6,000
PALM TREE TYPE 2 (3' C.T.)	100 S.F., Quantity: 45, Square Foot Total: 4,500
TOTAL CANOPY OBTAINED	15,500
TOTAL NATIVE OBTAINED	14,300
TOTAL CANOPY REMOVED	11,231.68

BUS SHELTER MANUFACTURER: LANDSCAPE FORMS STYLE: CONNECT 210 8' GLASS ROOF (BACK + SIDE GLASS) FINISH: SILVER SIZE: 7'6" X 14' X 8'6" CONTACT: MICHELLE@LANDSCAPEFORMS.COM	SITTING RAIL MANUFACTURER: LANDSCAPE FORMS STYLE: CONNECT RAILS SITTING RAIL FINISH: SILVER SIZE: 7'6" X 8'6" CONTACT: MICHELLE@LANDSCAPEFORMS.COM	LITTER RECEPTACLE MANUFACTURER: LANDSCAPE FORMS STYLE: COLLECT LITTER SIDE OPEN FINISH: SILVER + BLACK POLYETHYLENE SIZE: 18" X 24" X 8" CONTACT: MICHELLE@LANDSCAPEFORMS.COM	BENCHES MANUFACTURER: LANDSCAPE FORMS STYLE: REST BENCH FINISH: SILVER SIZE: 26 1/2" X 48" X 31 1/2" CONTACT: MICHELLE@LANDSCAPEFORMS.COM
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REVISIONS / SUBMISSIONS

1	05.22.19
2	04.03.20
3	02.04.21
4	08.19.21
5	
6	
7	
8	
9	
10	
11	

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NORTH MIAMI BEACH, FL 33162

GROUND FLOOR LANDSCAPE PLAN

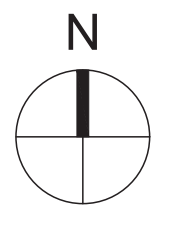
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ARCHITECTURE INTERIOR DESIGN PLANNING
AIA ASID NCARB
2916 Biscayne Boulevard
Suite 200
Miami, Florida 33137
P: 954-923-9661
F: 305-573-3766
WWW.KOBKARP.COM

KOB KARP

DRAWN BY:	F.P.
CHECKED BY:	K.H.
DATE:	10.01.2018



1 LANDSCAPE PLAN - GROUND FLOOR

Scale: 1"= 20'-0"

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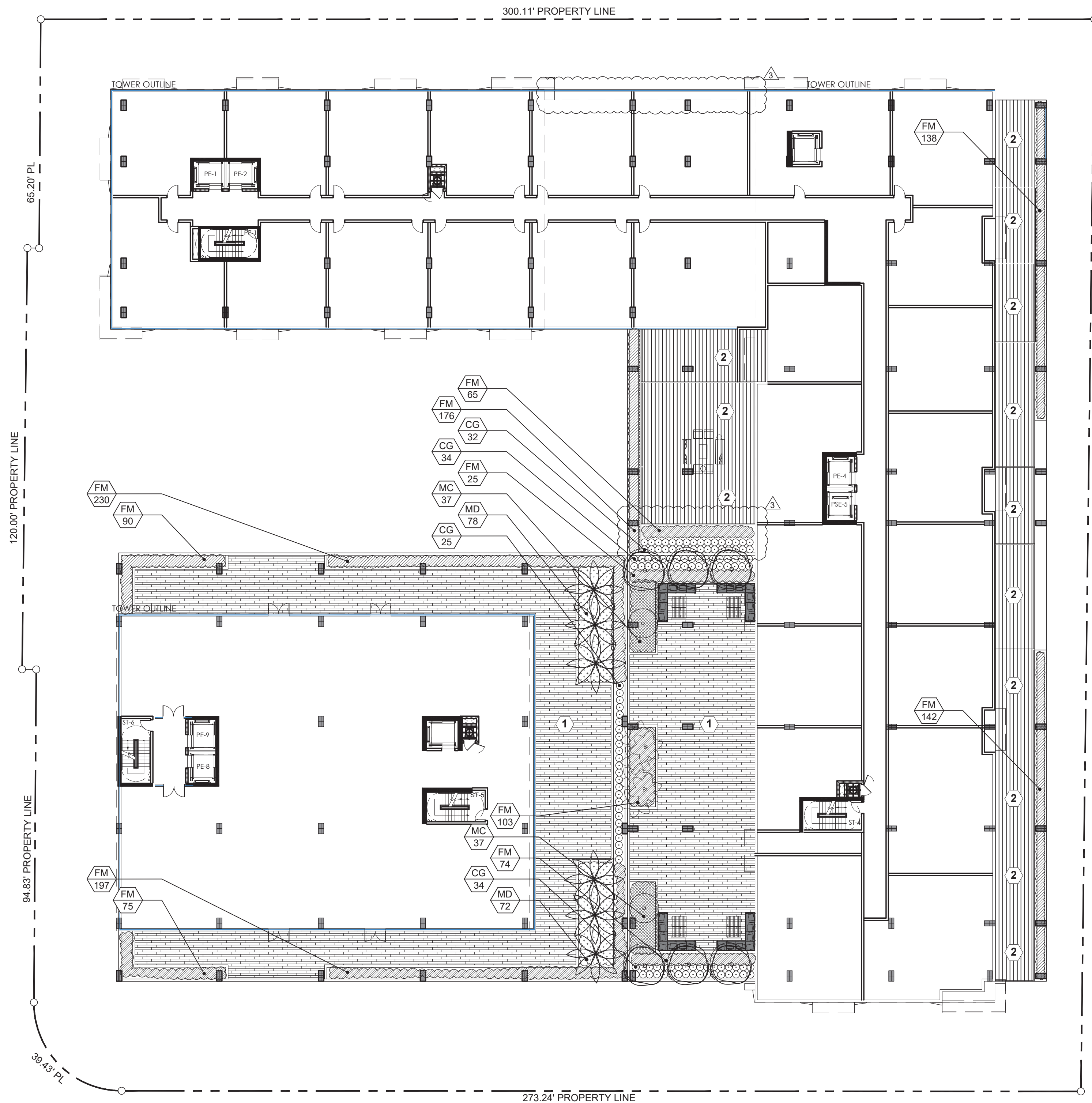
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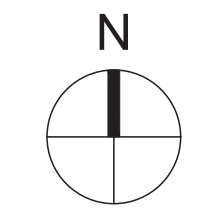
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LANDSCAPE LIST		
TREES/PALMS		
SYMBOL	QUAN.	PROPOSED MATERIAL
	6	Cocos nucifera 'Green Malayan' GREEN MALAYAN COCONUT PALM
		8-12' G.W., STAGGERED O.A. HTS. F.G.
	2	Conocarpus erectus 'Sericeus' SILVER BUTTONWOOD
		10' O.A. HT., MULTI-TRUNK F.G., 4' C.T.
	6	Ligustrum japonicum Japanese Privet
		8' HT. X 8' SPR., MULTI-TRUNK F.G.
	2	Psychosperma elegans ALEXANDER PALM
		16' O.A., TRIPLE TRUNK F.G.
SHRUBS AND GROUNDCOVERS		
SYMBOL	QUAN.	PROPOSED MATERIAL
	CG	125
		*Clusia guttifera SMALL LEAF CLUSIA
		36' HT. X 24' SPR. / 24' O.C. 7 GAL.
	FM	1,315
		Ficus microcarpa 'Green Island' GREEN ISLAND FIGUS
		15' HT. X 15' SPR. / 15' O.C. 3 GAL.
	MC	34
		*Melinisberga capillaris PINK MUHLY GRASS
		24' HT. X 24' SPR. / 24' O.C. 3 GAL.
	MD	150
		Monstera deliciosa Swiss Cheese Plant
		24' HT. X 24' SPR. / 24' O.C. 3 GAL.

* DENOTES NATIVE SPECIES

SITE FINISHES/ AMENITIES LEGEND		
LEVEL 7 PAVER		
1	MANUFACTURER: BELGARD STYLE: TURIN COLOR: FROST SIZE: 12" X 23.54" X 3/4" PATTERN: RUNNING BOND, MUD SET ON TOPPING SLAB.	
COMPOSITE WOOD DECKING		
2	MANUFACTURER: RESYSTA FLOORING SYSTEM COLOR: FVG C09 SIZE: 1" X 5' X 20" PATTERN: SEE PLAN FOR PATTERN CONTACT: BIRGIT AUGÉ (305)588-9123	



W H
D

WITKIN HULTS DESIGN GROUP
307 south 21st avenue hollywood, florida
phone: 954.923.9681 facsimile: 954.923.9689
www.witkindesign.com

1 LANDSCAPE PLAN - 7TH FLOOR

Scale: 1"= 20'-0"

REVISIONS / SUBMISSIONS	
1	05.22.19
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851 NE 167TH STREET
NORTH MIAMI BEACH, FL 33162

7TH FLOOR LANDSCAPE PLAN

WITKIN HULTS DESIGN
LICENSE #A40003889
TEL: 954-923-9881

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DATE:	10.01.2018

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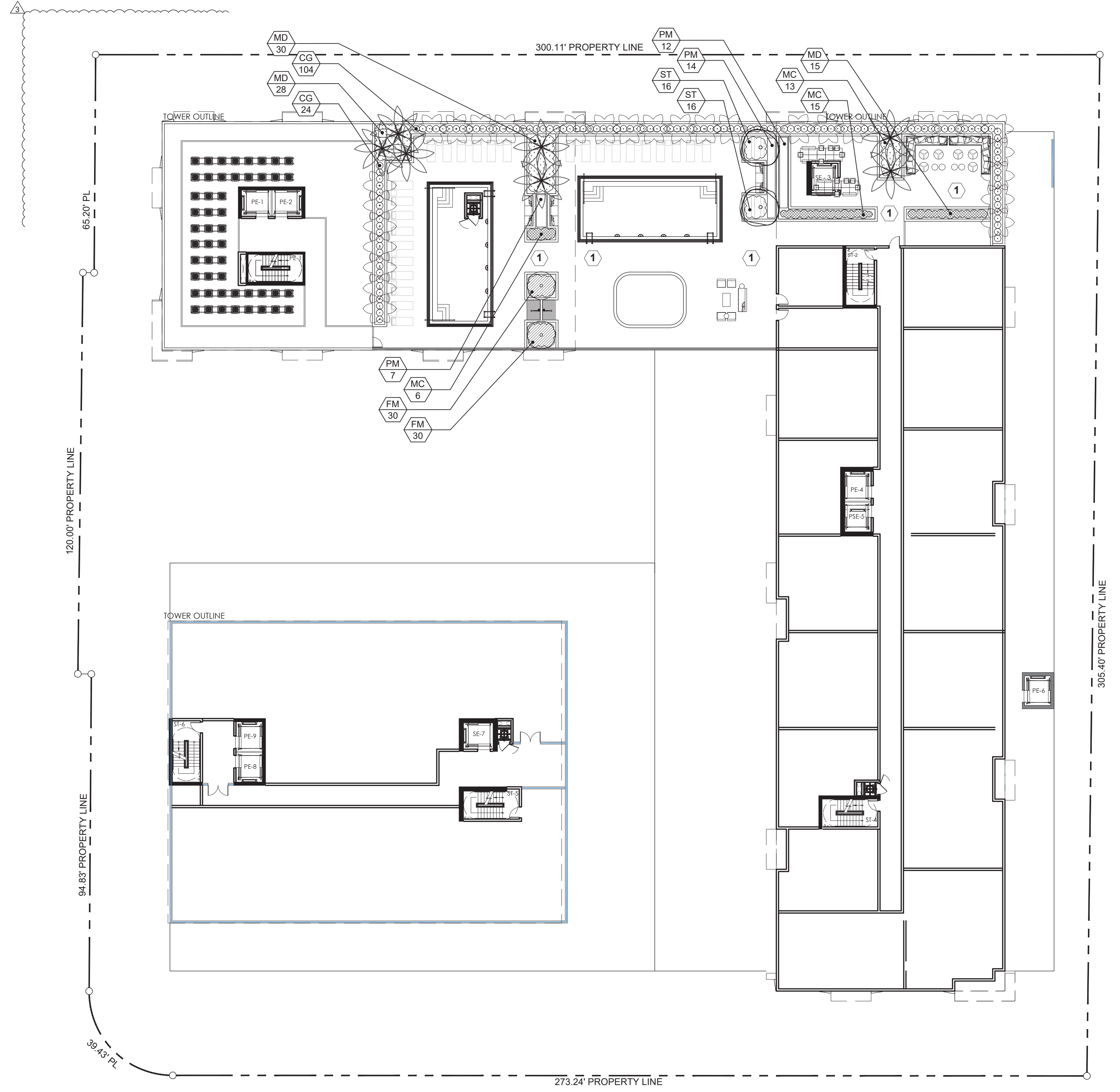
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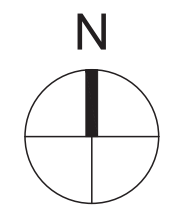
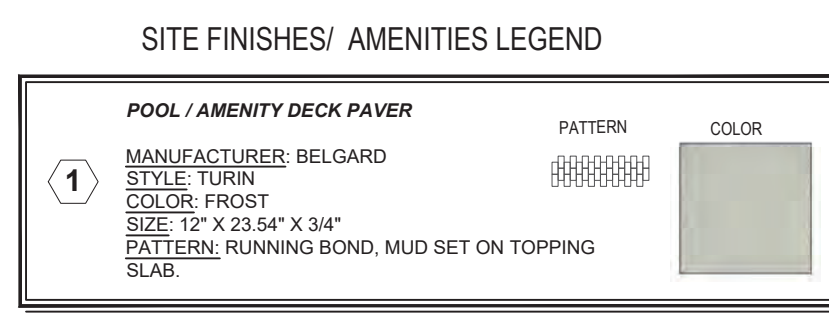
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LANDSCAPE LIST

TREES/PALMS			
SYMBOL	QUAN.	PROPOSED MATERIAL	
	7	Cocos nucifera 'Green Malayan' GREEN MALAYAN COCONUT PALM	8-12' G.W., STAGGERED O.A. HTS. F.G.
	2	Conocarpus erectus 'Sericeus' SILVER BUTTONWOOD	10' O.A. HT., MULTI-TRUNK F.G., 4' C.T.
	2	Ligustrum japonicum Japanese Privet	8' HT. X 8' SPR., MULTI-TRUNK F.G.
	29	Phycosperma elegans ALEXANDER PALM	12-16' O.A., SINGLE TRUNK, STAGGERED O.A. HTS. F.G.

SHRUBS AND GROUNDCOVERS			
SYMBOL	QUAN.	PROPOSED MATERIAL	
CG	128	*Clusia guttifera SMALL LEAF CLUSIA	36" HT. X 36" SPR. / 24" O.C. 7 GAL.
FM	60	Ficus microcarpa 'Green Island' GREEN ISLAND FICUS	15" HT. X 15" SPR. / 15" O.C. 3 GAL.
MC	34	*Muhlenbergia capillaris PINK MUHLY GRASS	24" HT. X 24" SPR. / 24" O.C. 3 GAL.
MD	73	Monstera deliciosa SWISS CHEESE PLANT	24" HT. X 24" SPR. / 24" O.C. 3 GAL.
PM	33	Podocarpus macrophyllus JAPANESE YEW	36" HT. X 24" SPR. / 24" O.C. 7 GAL.
ST	32	Sansevieria trifasciata 'Black Gold' VARIEGATED SNAKE PLANT	18" HT. X 18" SPR. / 18" O.C. 3 GAL.



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851 NE 167TH STREET
NORTH MIAMI BEACH, FL 33162

ROOF LEVEL LANDSCAPE PLAN

Seal:

WITKIN HULTS DESIGN
ANDREW WITKIN
LICENSE # LA00000869
TEL: 954-923-9681

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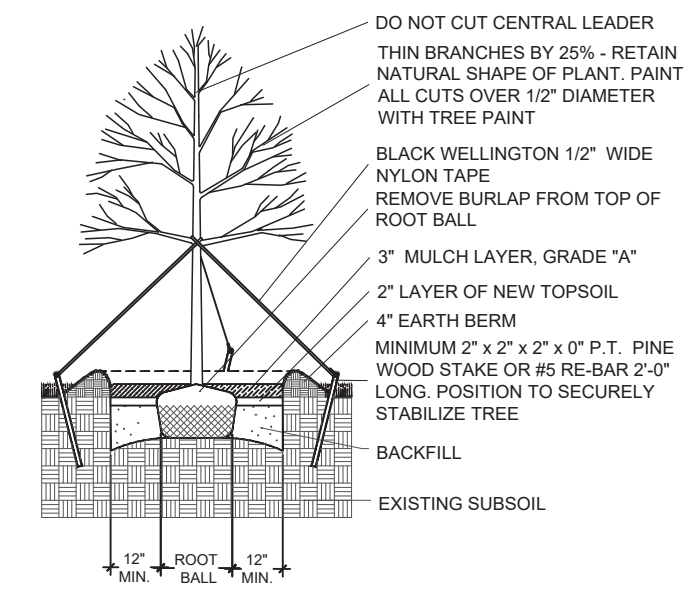
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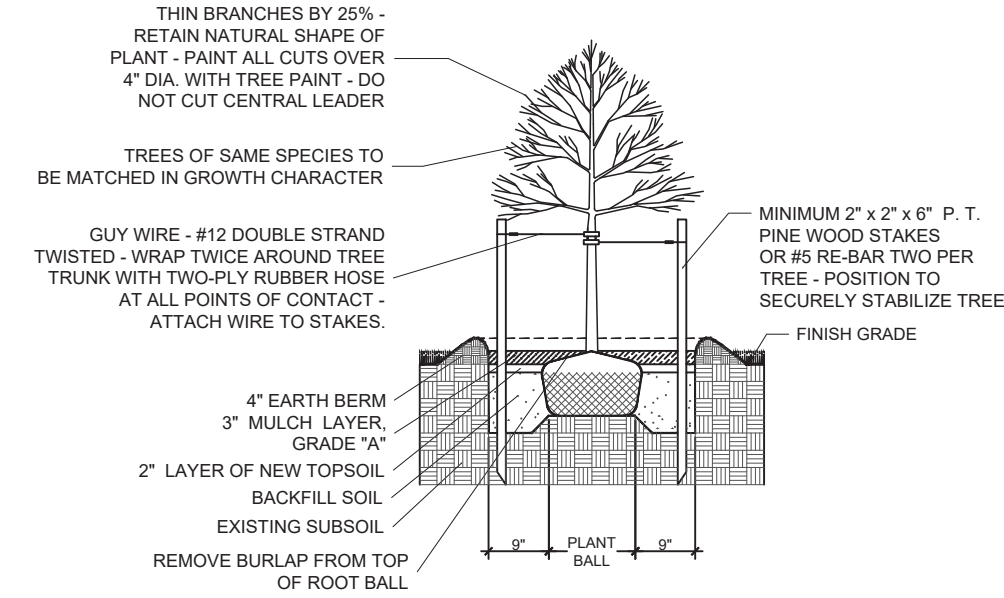
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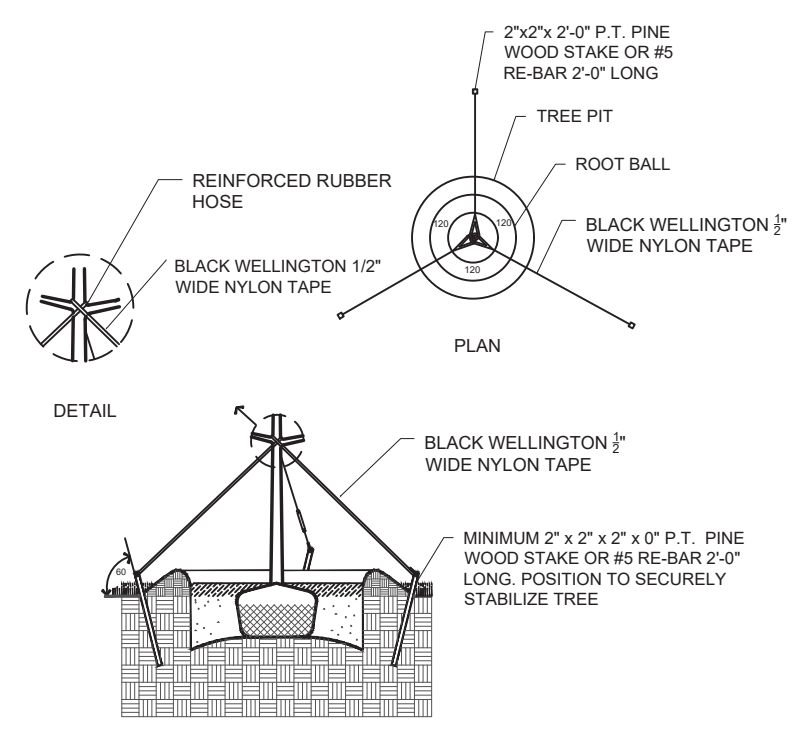
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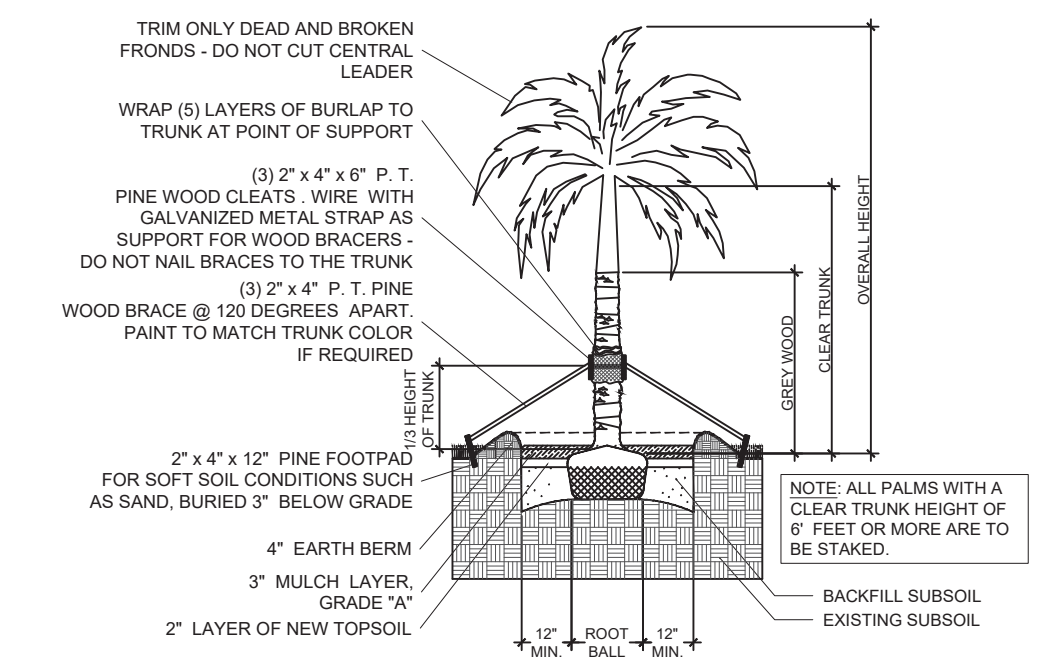
LARGE TREE PLANTING DETAIL



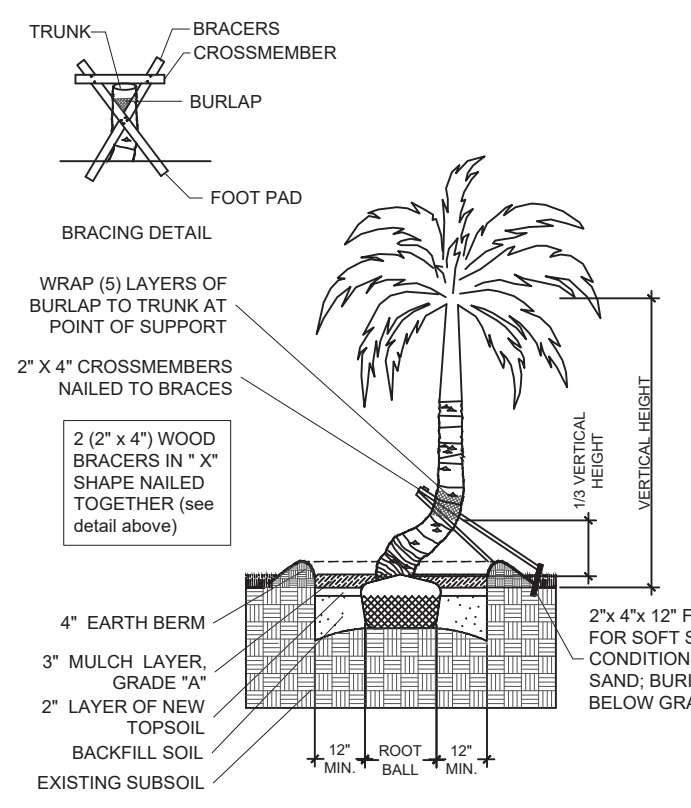
SMALL TREE PLANTING DETAIL



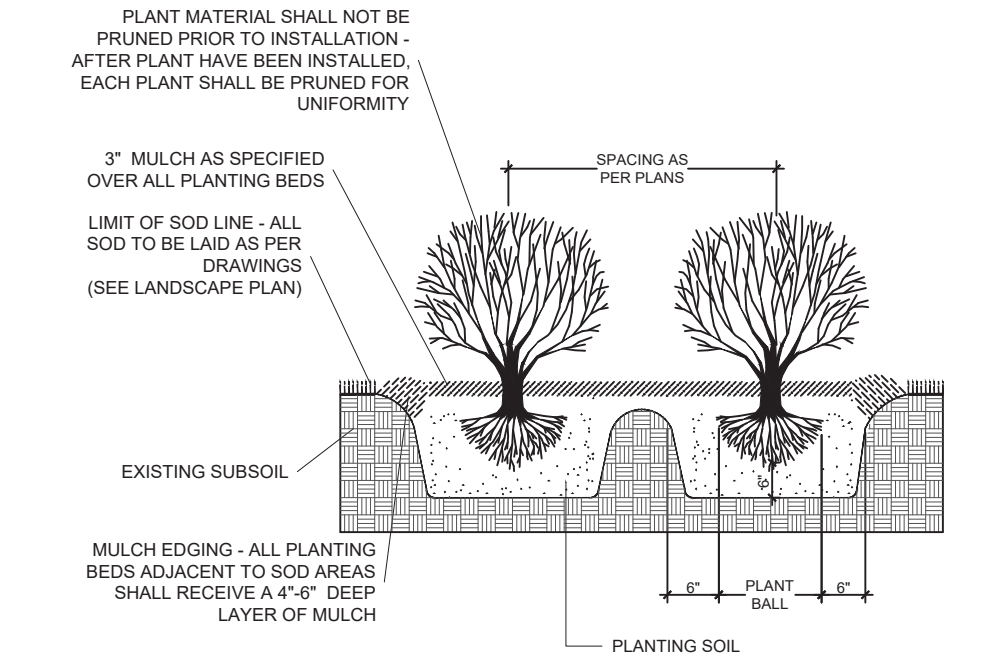
TYPICAL TREE GUYING DETAIL



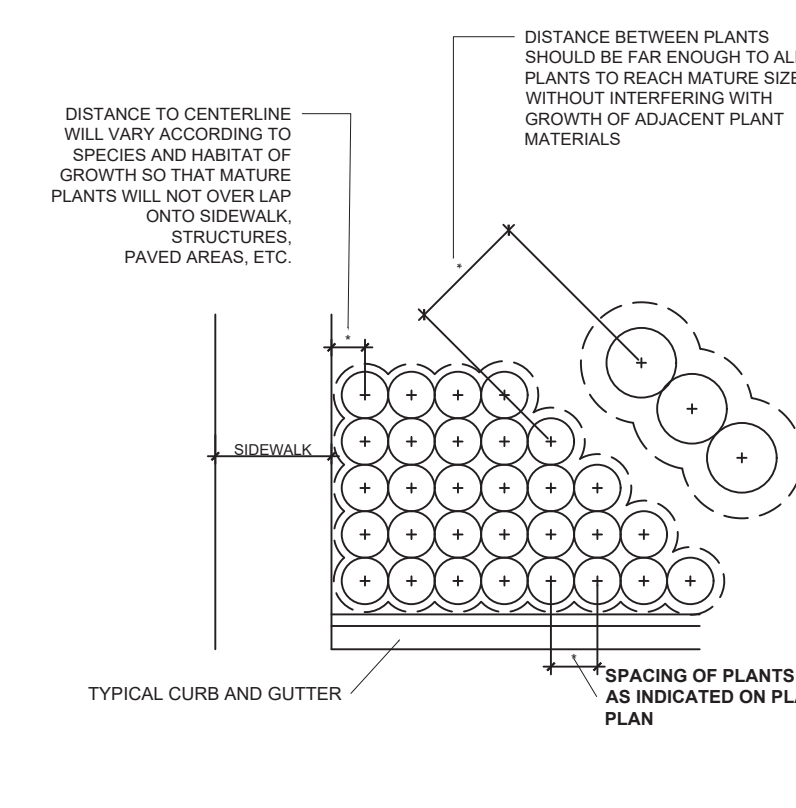
STRAIGHT TRUNK PALM PLANTING DETAIL



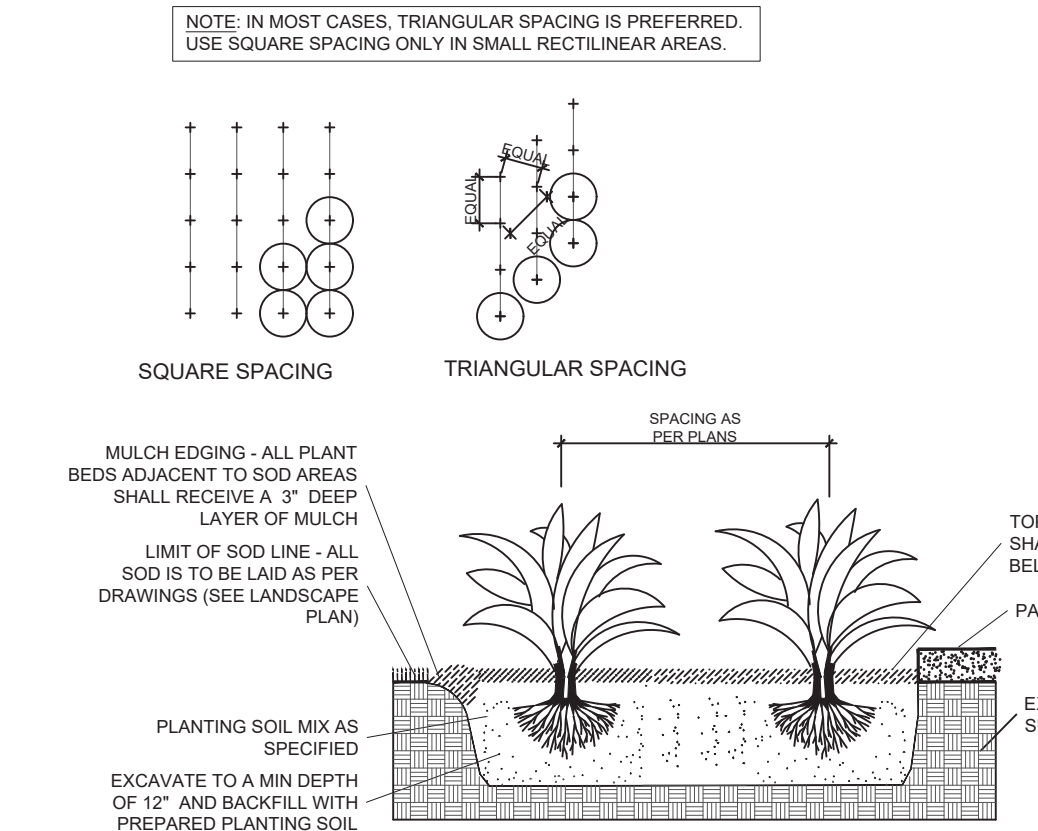
CURVED TRUNK PALM PLANTING DETAIL



TYPICAL SHRUB PLANTING DETAIL



TYPICAL CONTAINER SPACING DETAIL



TYPICAL GROUNDCOVER PLANTING DETAIL

PLANTING NOTES:

- All plant material is to be Florida Number 1 or better pursuant to the Florida Department of Agriculture's Grades and Standards for Nursery Plants.
- All plants are to be top dressed with a minimum 3" layer of Melaleuca mulch, Eucalyptus mulch or equal.
- Planting plans shall take precedence over plant list in case of discrepancies.
- No changes are to be made without the prior consent of the Landscape Architect and Owner. Additions and or deletions to the plant material must be approved by the project engineer.
- Landscape Contractor is responsible for providing their own square footage takeoffs and field verification for 100% sod coverage for all areas specified.
- All landscape areas are to be provided with automatic sprinkler system which provide 100% coverage, and 50% overlap.
- All trees in lawn areas are to receive a 24" diameter mulched saucer at the base of the trunk.
- Trees are to be planted within parking islands after soil is brought up to grade. Deeply set root balls are not acceptable.
- Planting soil for topsoil and backfill shall be 50/50 mix, nematode free. Planting soil for annual beds to be comprised of 50% Canadian peat moss, 25% salt free coarse sand and 25% Aerolite.
- Tree and shrub pits will be supplemented with "Agriform Pells", 21 gram size with a 20-10-5 analysis, or substitute application accepted by Landscape Architect. Deliver in manufacturer's standard containers showing weight, analysis and name of manufacturer.

SOD NOTES:

- Sod is to be grade "A" weed free.
- All areas marked "LAWN" shall be solid sodded with St. Augustine 'Floratum' solid sod. See limit on plan. All areas marked 'Bahia Grass' shall be solid sodded with Paspalum.
- Provide a 2" deep blanket of planting soil as described in planting notes this sheet. Prior to planting, remove stones, sticks, etc. from the sub soil surface. Excavate existing non-conforming soil as required so that the finish grade of sod is flush with adjacent pavement or top of curb as well as adjacent sod in the case of sod patching.
- Place sod on moistened soil, with edges tightly butted, in staggered rows at right angles to slopes.
- Keep edge of sod bed a minimum of 18" away from groundcover beds and 24" away from edge of shrub beds and 36" away from trees, measured from center of plant.
- Sod Shall be watered immediately after installation to uniformly wet the soil to at least 2" below the bottom of the sod strips.
- Excavate and remove excess soil so top of sod is flush with top of curb or adjacent pavement or adjacent existing sod.

GENERAL NOTES:

- The Landscape Contractor is to locate and verify all underground and overhead utilities prior to beginning work. Contact proper utility companies and / or General Contractor prior to digging for field verification. The Owner and the Landscape Architect shall not be responsible for any damages to utility or irrigation lines (see Roadway Plans for more utility notes).
- Landscape Contractor is to verify all current drawings and check for discrepancies and bring to the attention of the Landscape Architect prior to commencing with the work.
- All unattended and unplanted tree pits are to be properly barricaded and flagged during installation.
- All planting plans are issued as directives for site layout. Any deviations, site changes, etcetera are to be brought to the attention of the Landscape Architect for clarification prior to installation.

REVISIONS / SUBMISSIONS	
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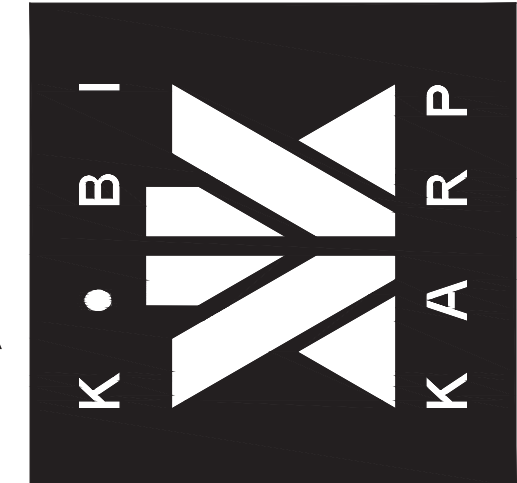
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851 NE 167TH STREET
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LANDSCAPE NOTES AND DETAILS

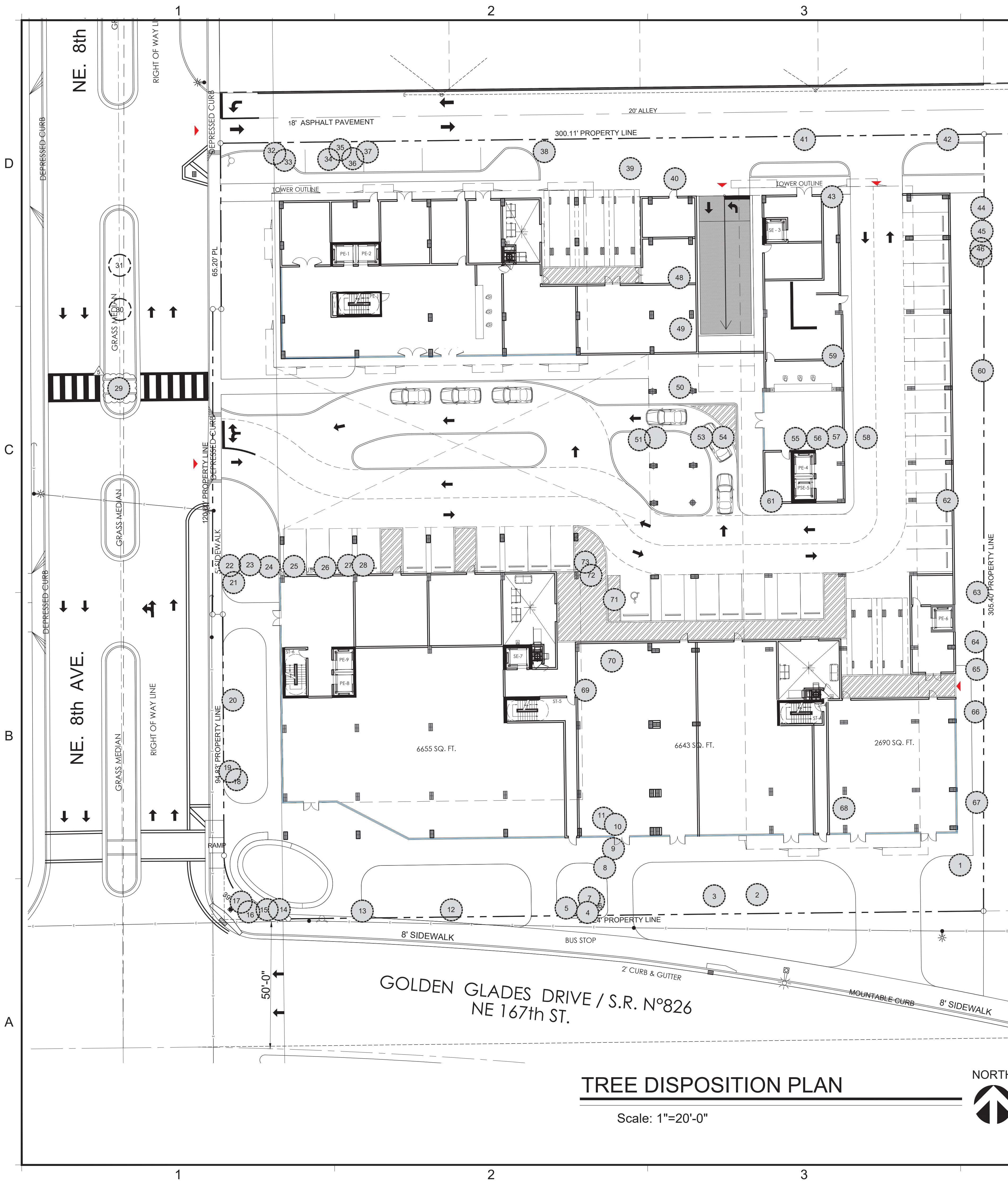
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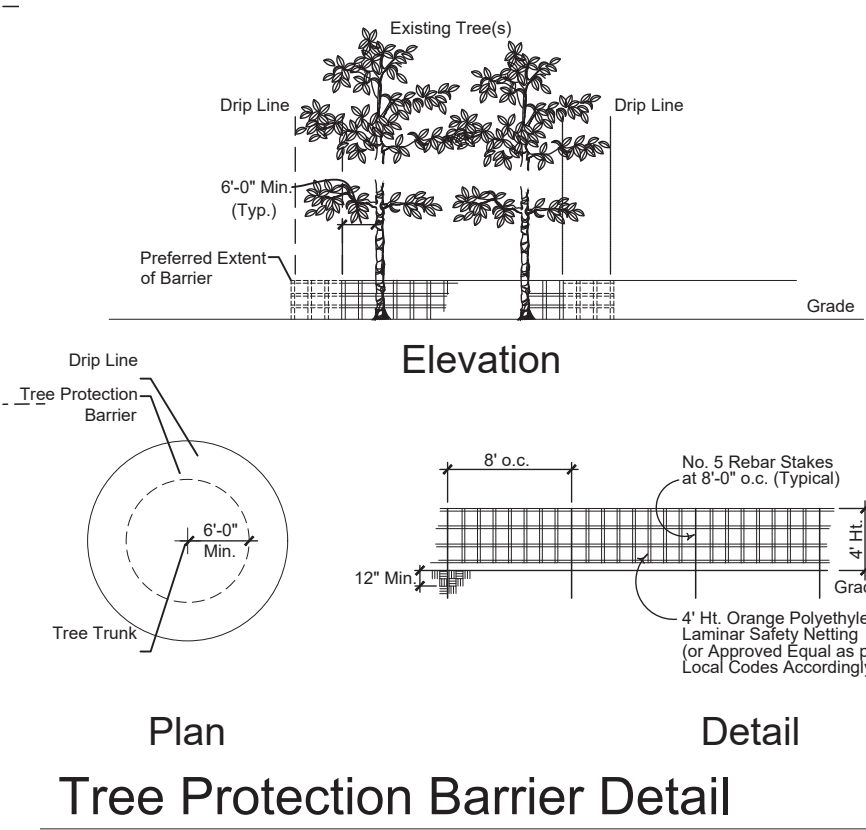
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2015 Biscayne Boulevard
Miami, Florida 33137
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DRAWN BY:
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DATE:



TREE DISPOSITION TABLE							
Tree #	Height (FT)	Spread (FT)	DBH (IN)	Botanical Name	Common Name	Disposition	Canopy Area
1	10	8	3	<i>Ptychosperma elegans</i>	Solitaire Palm	Remove	50.2
2	22	16	13	<i>Syagrus romanzoffiana</i>	Queen Palm	Remove	82.5
3	22	16	13	<i>Syagrus romanzoffiana</i>	Queen Palm	Remove	82.5
4	16	5	3	<i>Ptychosperma elegans</i>	Solitaire Palm	Remove	50.2
5	13	4.5	3	<i>Ptychosperma elegans</i>	Solitaire Palm	Remove	50.2
6	10	6	4	<i>Ptychosperma elegans</i>	Solitaire Palm	Remove	50.2
7	12	6	4	<i>Ptychosperma elegans</i>	Solitaire Palm	Remove	50.2
8	8	10	12	<i>Sabal palmetto</i>	Cabbage Palm	Remove	78.5
9	11	11	18	<i>Sabal palmetto</i>	Cabbage Palm	Remove	78.5
10	12	10	14	<i>Sabal palmetto</i>	Cabbage Palm	Remove	78.5
11	6	8	12	<i>Sabal palmetto</i>	Cabbage Palm	Remove	78.5
12	6	6	14	<i>Sabal palmetto</i>	Cabbage Palm	Remove	78.5
13	11	4	4		Palm	Remove	12.56
14	5	8	14	<i>Sabal palmetto</i>	Cabbage Palm	Remove	50.2
15	14	10	5		Unknown Palm	Remove	78.5
16	11	5	4		Unknown Palm	Remove	19.63
17	17	5	4		Unknown Palm	Remove	19.63
18	6	8	14	<i>Sabal palmetto</i>	Cabbage Palm	Remove	50.24
19	5	7	13	<i>Sabal palmetto</i>	Cabbage Palm	Remove	38.47
20	9	12	15	<i>Sabal palmetto</i>	Cabbage Palm	Remove	18.84
21	17	10	6		Unknown Palm	Remove	78.5
22	13	8	5		Unknown Palm	Remove	50.24
23	10	1	3		Unknown Palm	Remove	1.57
24	6	6	3		Unknown Palm	Remove	28.26
25	10	9	5		Unknown Palm	Remove	63.6
26	5	11	12	<i>Sabal palmetto</i>	Cabbage Palm	Remain	95
27	9	9	4		Palm	Remain	63.6
28	4	8	11	<i>Sabal palmetto</i>	Cabbage Palm	Remain	50.2
29	28	19	26	<i>Swietenia mahagoni</i>	Mahogany Tree	Remove	50.2
30	26	17	17	<i>Swietenia mahagoni</i>	Mahogany Tree	Remain	50.2
31	29	36	28	<i>Swietenia mahagoni</i>	Mahogany Tree	Remain	50.2
32	12	12	12	<i>Sabal palmetto</i>	Cabbage Palm	Remove	113.04
33	12	12	12	<i>Sabal palmetto</i>	Cabbage Palm	Remove	113.04
34	10	10	24	<i>Dypsis lutescens</i>	Areca Palm	Remove	78.5
35	17	10	26	<i>Schefflera actinophylla</i>	Umbrella Tree	Remove	78.5
36	12	8	12	<i>Sabal palmetto</i>	Cabbage Palm	Remove	50.2
37	12	9	12	<i>Schefflera actinophylla</i>	Umbrella Tree	Remove	63.6
38	13	12	12		Unknown Tree	Remove	113.04
39	28	32	27	<i>Bucida buceras</i>	Black Olive Tree	Remove	803.84
40	30	28	24	<i>Bucida buceras</i>	Black Olive Tree	Remove	615.44
41	25	14	16	<i>Swietenia mahagoni</i>	Mahogany Tree	Remove	153.86
42	20	28	18	<i>Swietenia mahagoni</i>	Mahogany Tree	Remove	615.44
43	29	18	20	<i>Bucida buceras</i>	Black Olive Tree	Remove	254.34
44	17	10	11	<i>Sabal palmetto</i>	Cabbage Palm	Remove	78.5
45	13	10	12	<i>Sabal palmetto</i>	Cabbage Palm	Remove	78.5
46	21	8	11	<i>Sabal palmetto</i>	Cabbage Palm	Remove	50.24
47	19	8	11	<i>Sabal palmetto</i>	Cabbage Palm	Remove	50.24
48	22	18	13	<i>Bucida buceras</i>	Black Olive Tree	Remove	254.34
49	20	28	17	<i>Bucida buceras</i>	Black Olive Tree	Remove	615.44
50	12	9	10	<i>Bucida buceras</i>	Black Olive Tree	Remove	63.6
51	3	5	10	<i>Sabal palmetto</i>	Cabbage Palm	Remove	19.63
52	14	10	12	<i>Swietenia mahagoni</i>	Mahogany Tree	Remove	78.5
53	14	10	12	<i>Swietenia mahagoni</i>	Mahogany Tree	Remove	78.5
54	4	5	12	<i>Sabal palmetto</i>	Cabbage Palm	Remove	19.63
55	22	24	17	<i>Swietenia mahagoni</i>	Mahogany Tree	Remove	452.16
56	4	6	10	<i>Sabal palmetto</i>	Cabbage Palm	Remove	28.26
57	4	6	10	<i>Sabal palmetto</i>	Cabbage Palm	Remove	28.26
58	12	13	12	<i>Swietenia mahagoni</i>	Mahogany Tree	Remove	132.67
59	22	20	22	<i>Bucida buceras</i>	Black Olive Tree	Remove	314
60	11	8	12	<i>Sabal palmetto</i>	Cabbage Palm	Remove	50.24
61	21	32	20	<i>Swietenia mahagoni</i>	Mahogany Tree	Remove	803.84
62	25	32	26	<i>Swietenia mahagoni</i>	Mahogany Tree	Remove	803.84
63	19	22	18	<i>Cocos nucifera</i>	Coconut Palm	Remove	379.94
64	28	22	18	<i>Cocos nucifera</i>	Coconut Palm	Remove	379.94
65	28	22	18	<i>Cocos nucifera</i>	Coconut Palm	Remove	379.94
66	14	20	15	<i>Cocos nucifera</i>	Coconut Palm	Remove	314
67	13	18	13	<i>Cocos nucifera</i>	Coconut Palm	Remove	113.04
68	20	29	16	<i>Swietenia mahagoni</i>	Mahogany Tree	Remove	660.19
69	10	12	6		Unknown Palm	Remove	113.04
70	13	10	15	<i>Sabal palmetto</i>	Cabbage Palm	Remove	78.5
71	28	14	12	<i>Phoenix dactylifera</i>	Date Palm	Remove	153.86
72	5	6	4		Unknown Palm	Remove	28.26
73	4	8	4		Unknown Palm	Remove	50.2
Total Mitigation Required:							11231.68



Note: Protective barriers shall be placed around each tree, cluster of trees, or the edge of the preservation area no less than six (6) feet (in radius) from the trunk of any protected tree cluster or preservation area unless a lesser distance is specified by the Department. Protective barriers shall be a minimum of four (4) feet above ground level and shall be constructed of wood, plastic or metal, and shall remain in place until development is completed and the Department has authorized their removal. Protective barriers shall be in place prior to the start of any construction.

SYMBOL LEGEND

- ⊗ Tree to Remove
- ⊙ Tree to Remain

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851 NE 167TH STREET
 NORTH MIAMI BEACH, FL 33162

TREE DISPOSITION PLAN

WITKIN HULTS DESIGN
 ANDREW WITKIN
 LICENSE # LA0000869
 TEL: 954-923-9681

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 Lic. # AR0012576

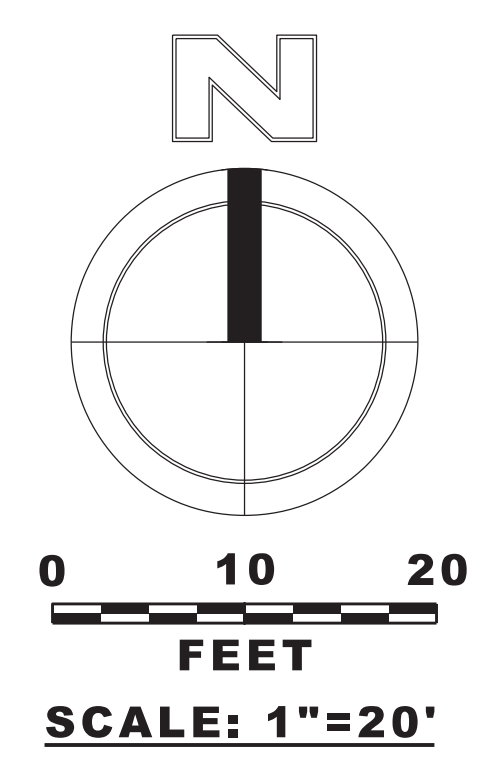
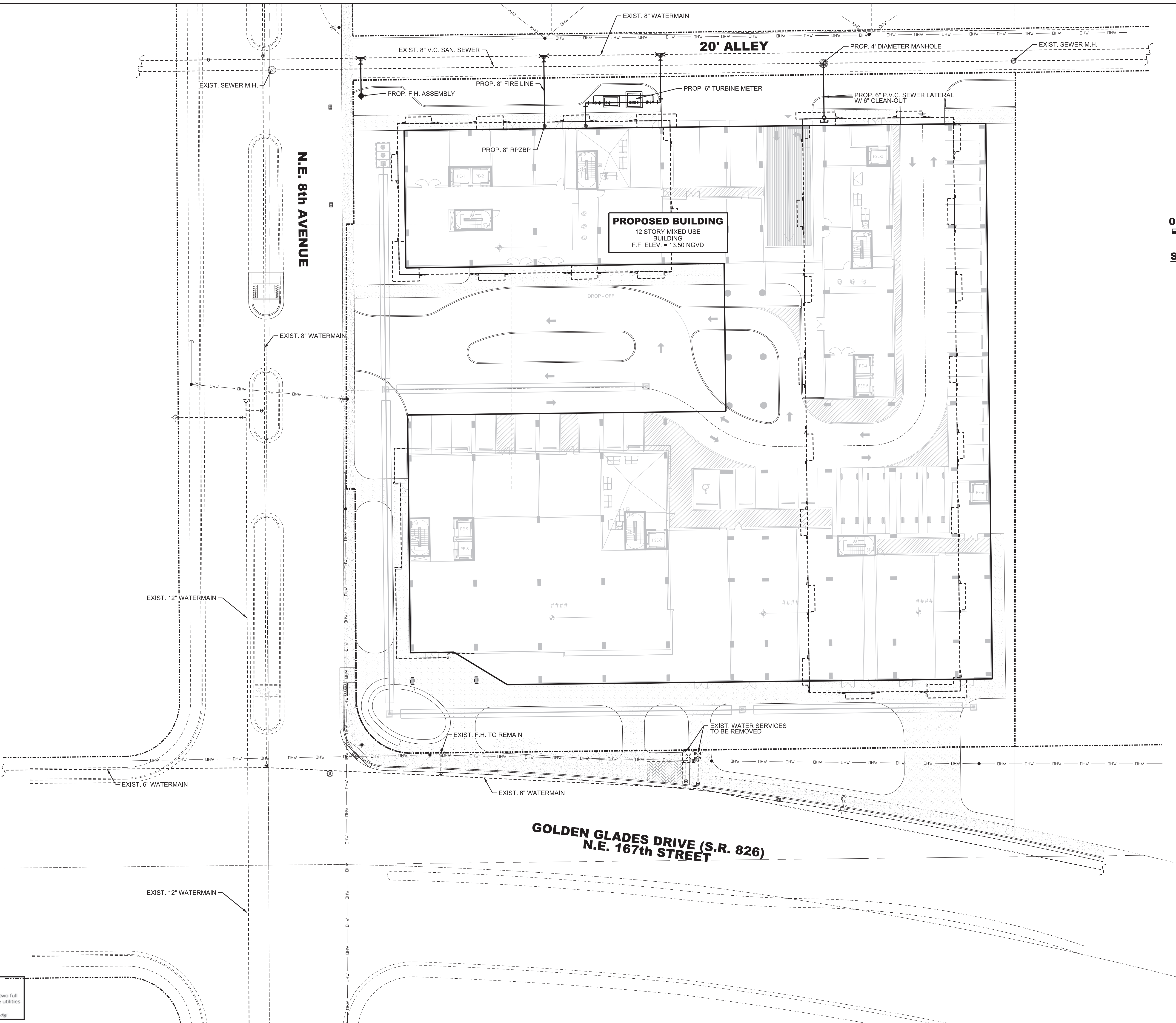
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DRAWN BY:	F.P.
CHECKED BY:	K.H.
DATE:	02.01.2019

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\\HSQ\Broward\Civil\Projects\2018\1809-76_801_NE_167th_Street\Drawings\Construction Plans\180976-WS-P001.dwg



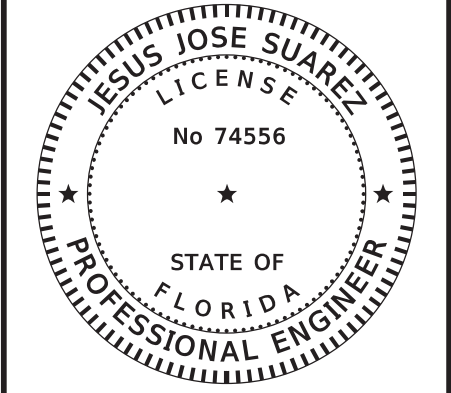
PROPOSED BUILDING
12 STORY MIXED USE BUILDING
F.F. ELEV. = 13.50 NGVD

NO	DATE	BY	REVISIONS

HSQ
HSQ GROUP, INC.
 Engineers - Planners - Surveyors
 5951 Northwest 173rd Drive, Suite 4
 Miami, Florida 33015 - 786.534.3821
 C26258 - LB7924

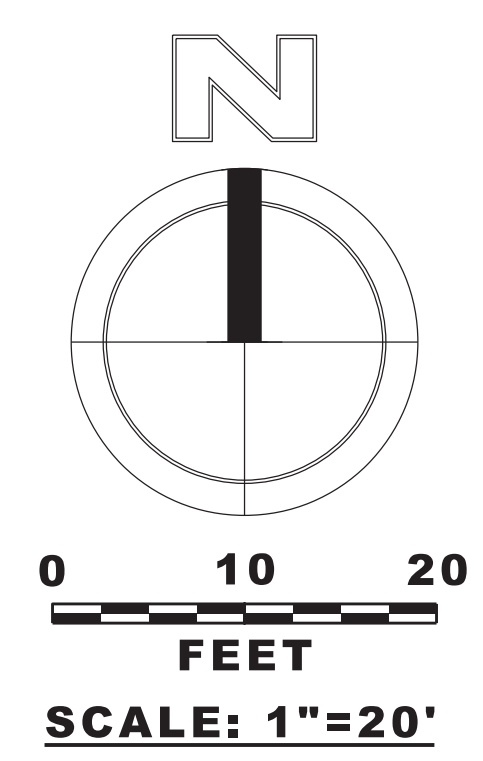
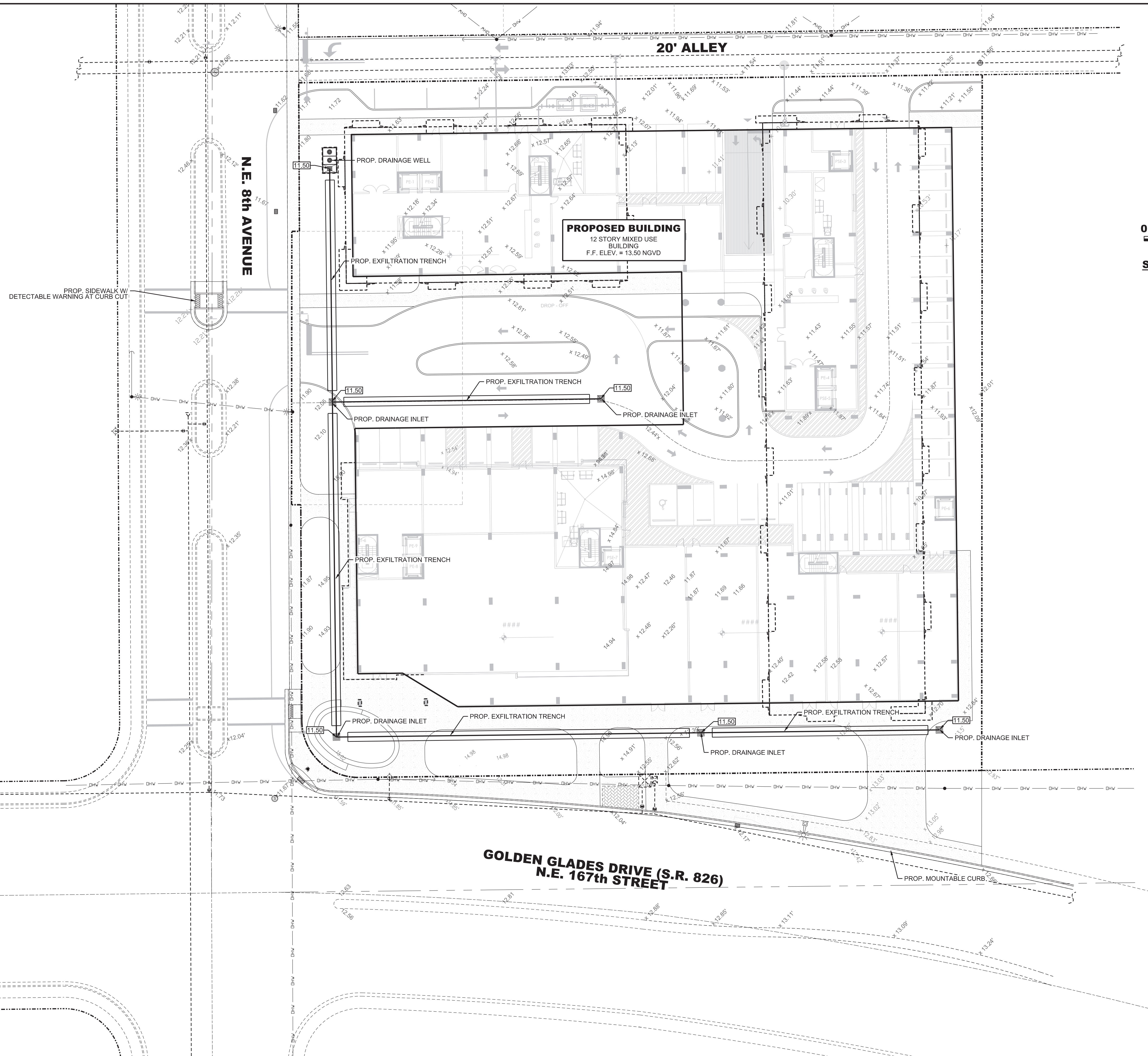
851 NE 167th STREET
CONCEPTUAL WATER AND SEWER PLAN

DATE: 10/18
 DESIGNED BY: J.S.
 DRAWN BY: J.S.
 CHECKED BY: A.Q.



DATE: 9/30/2020
 JESUS J. SUAREZ, P.E.
 FLORIDA REGISTRATION NO. - 74556
 PROJECT: 1809-76
 SHEET: WS-1

Sunshine 811
 Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.
 Check positive response codes before you dig!

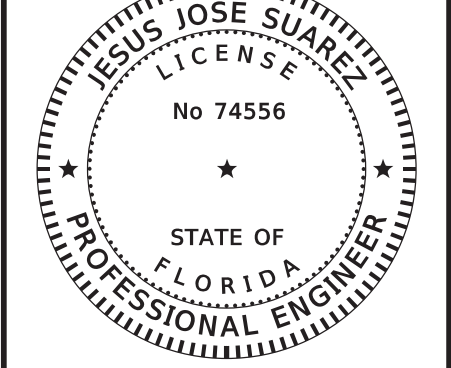


NO	DATE	BY	REVISIONS

HSQ
HSQ GROUP, INC.
 Engineers - Planners - Surveyors
 5951 Northwest 73rd Drive, Suite 4
 Miami, Florida 33015 - 786.534.3821
 C26258 - LB7924

851 NE 167th STREET
CONCEPTUAL PAVING AND DRAINAGE PLAN

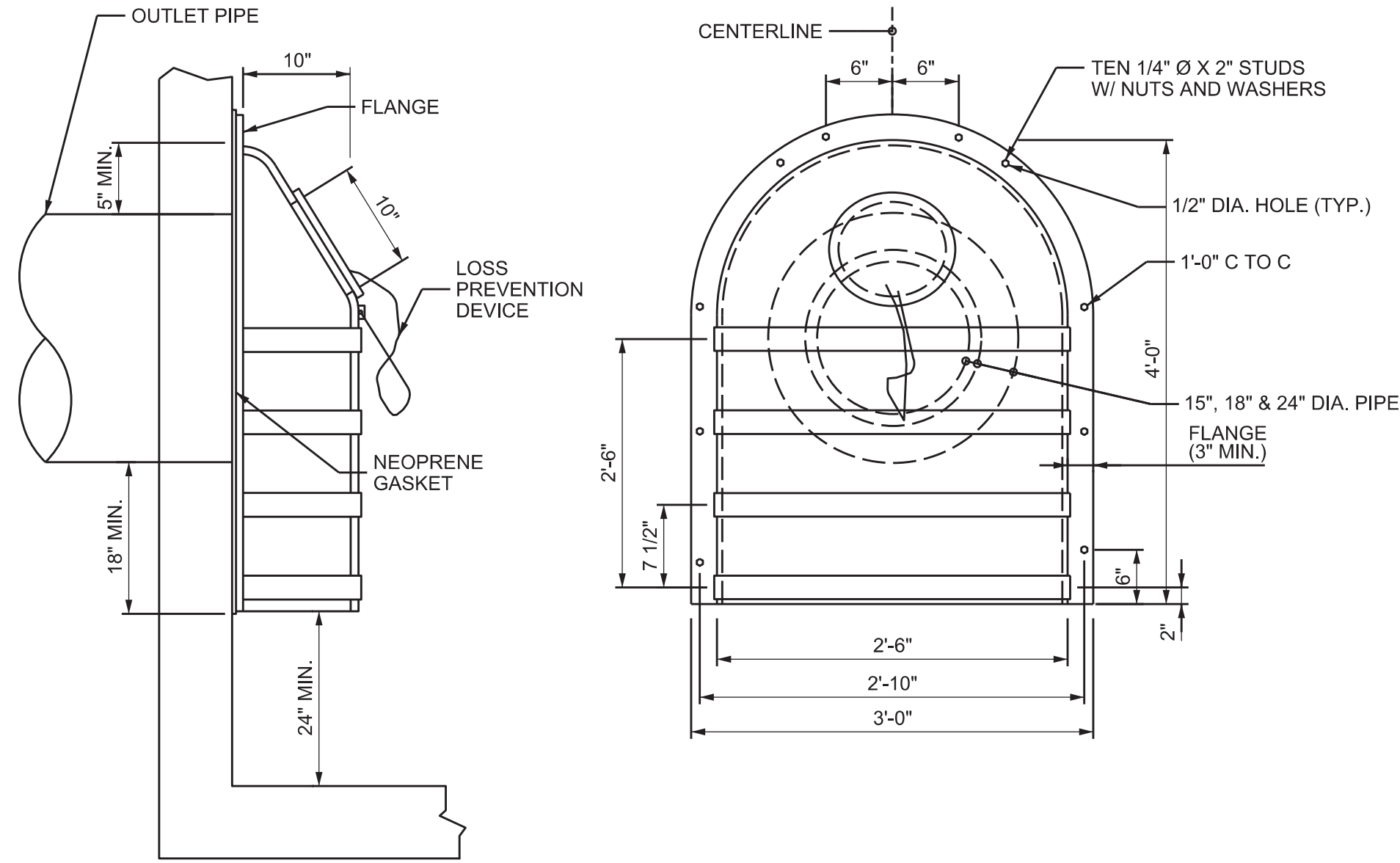
DATE: 10/18
 DESIGNED BY: J.S.
 DRAWN BY: J.S.
 CHECKED BY: A.Q.



DATE: 9/30/2020
 JESUS J. SUAREZ, P.E.
 FLORIDA REGISTRATION NO. - 74556
 PROJECT: 1809-76
 SHEET: PD-1

M:\HSQ\Broward\Civil\Projects\20181809-76_801_NE_167th_Street\Drawings\Construction\Plans\180976-PD001.dwg

Sunshine811
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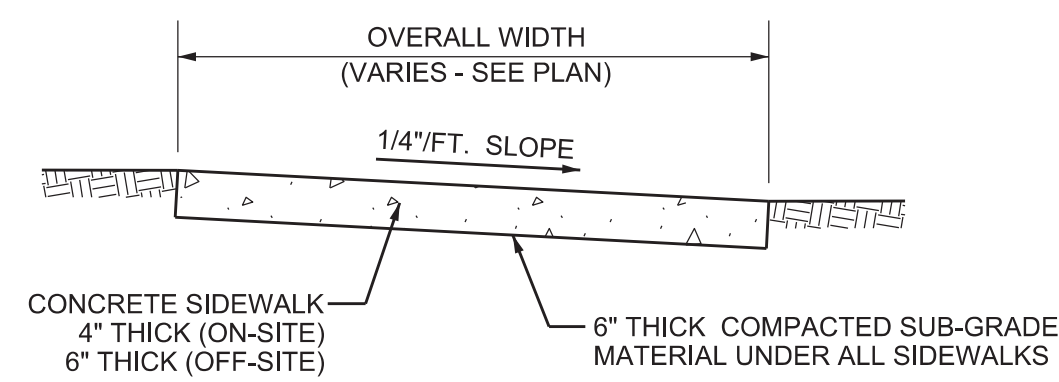


GENERAL NOTES

1. PLACE NEOPRENE GASKET MATERIAL BETWEEN SKIMMER AND THE CATCH BASIN AT ALL POINTS OF CONTACT. TRIM THE GASKET NEATLY TO EXTEND 1/2 INCH BEYOND THE JOINT ON ALL SIDES
2. SKIMMER BAFFLE, CLEANOUT PIPE AND ANGLES SHALL BE PRIMARILY CONSTRUCTED OF EITHER GALVANIZED STEEL, ALUMINUM, POLYVINYL CHLORIDE, POLYETHYLENE, FIBERGLASS OR ACRYLONITRILE BUTADIENE STYRENE. ALL STEEL COMPONENTS OTHER THAN STAINLESS, SHALL BE HOT-DIP GALVANIZED.
3. MOUNTING HARDWARE, HINGES AND LATCHES SHALL BE STAINLESS STEEL. LOSS PREVENTION DEVICE SHALL BE EITHER STAINLESS STEEL CHAIN OR RIVETED NYLON STRAP.
4. MATERIAL USED IN CONSTRUCTION OF SKIMMER BODIES (BAFFLES) AND CLEANOUT PIPES SHALL COMPLY WITH FDOT STANDARD SPECIFICATION 943 FOR STEEL, 945 FOR ALUMINUM OR 948 FOR PLASTICS.
5. THE CONTRACTOR MAY SUBMIT AN ALTERNATIVE DESIGN PREFABRICATED FRENCH DRAIN SKIMMER FOR APPROVAL BY THE ENGINEER.
6. TYPE II SKIMMERS ARE TO BE USED WITH OUTLET PIPE DIAMETERS OF 15", 18" AND 24".

SKIMMER FOR FRENCH DRAIN OUTLETS DETAIL

N.T.S. - PER F.D.O.T. INDEX 241

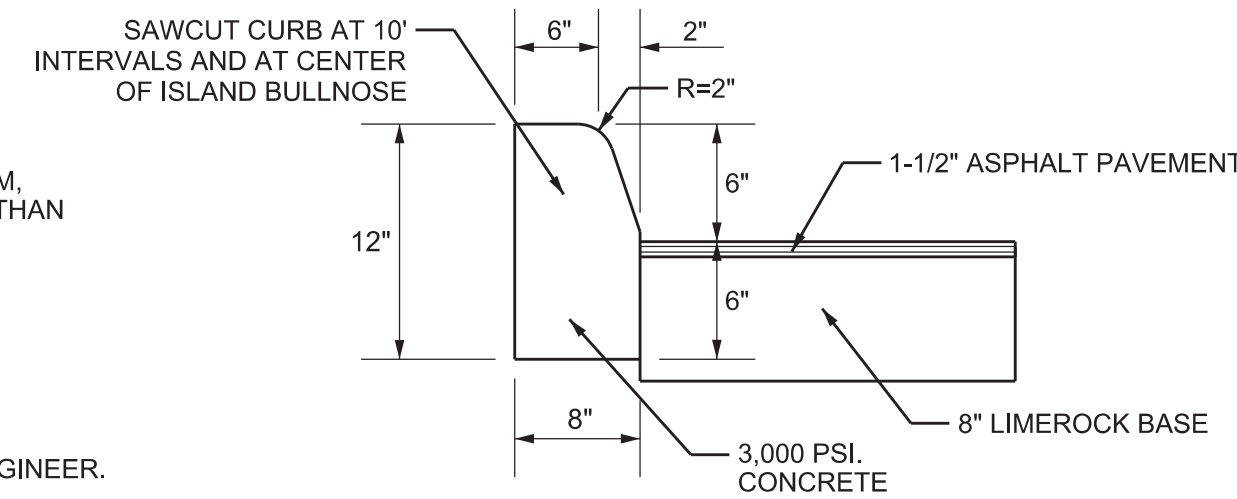


GENERAL NOTES

1. PROVIDE 1/8" CONSTRUCTION JOINTS AT 5' O/C, MINIMUM DEPTH 1/2".
2. PROVIDE 1/2" EXPANSION JOINTS WITH NON-RISING FILLER AT 20' O/C, TO RUN FULL DEPTH OF SLAB.
3. CONCRETE TO BE 3,000 P.S.I. IN 28 DAYS.
4. CURE ALL CONCRETE WITH CLEAN SAND, PLASTIC MEMBRANE, OR OTHER APPROVED METHOD.
5. PAVER SIDEWALK OPTION MAY BE USED AS AN ALTERNATE TO CONCRETE.

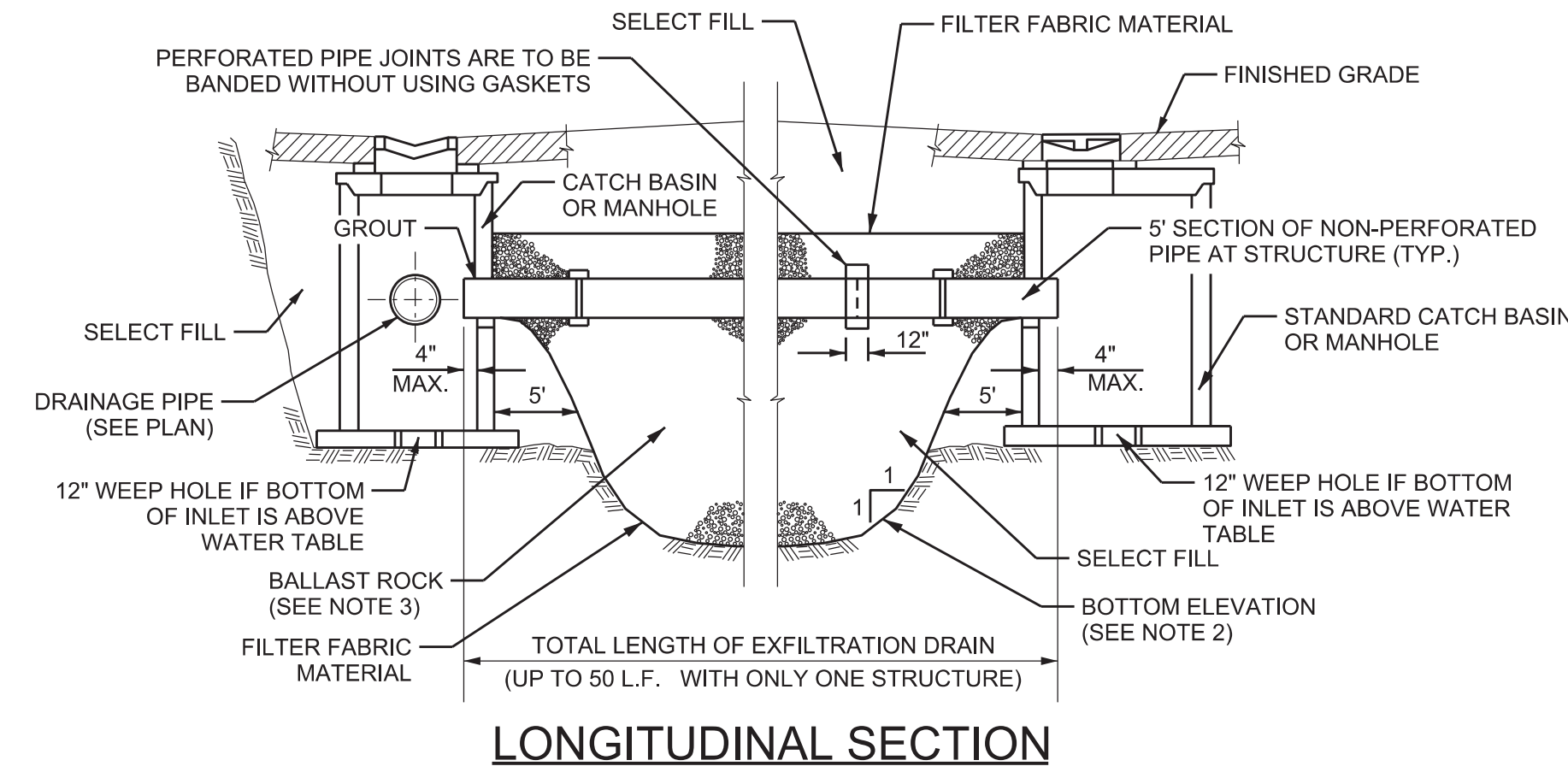
CONCRETE SIDEWALK DETAILS

N.T.S.



TYPE "D" MODIFIED CURB DETAIL

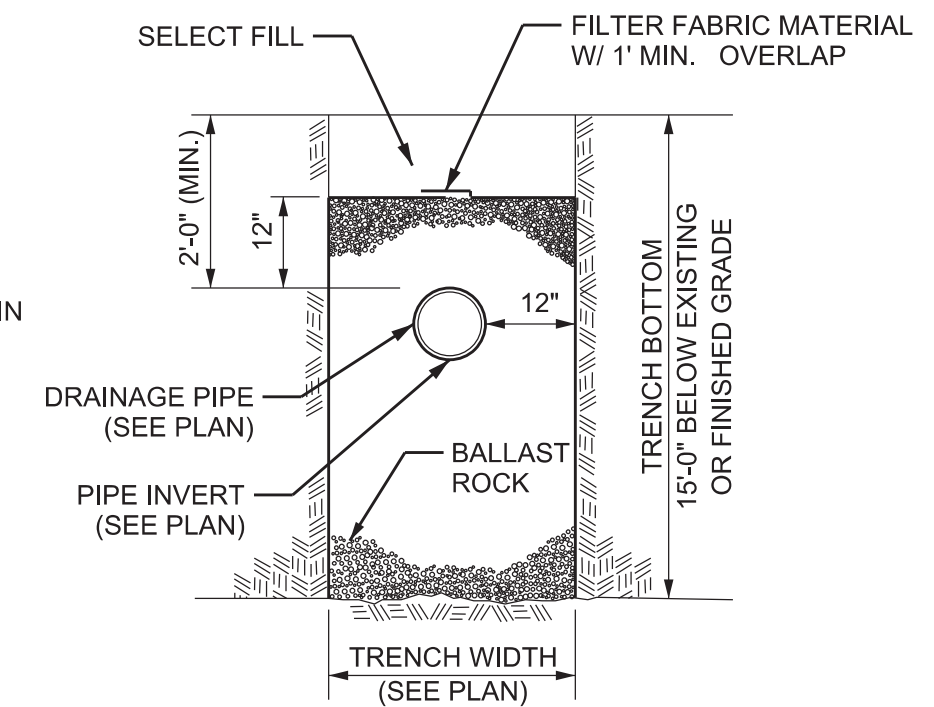
N.T.S. - PER MDC-PWD. DETAIL R14.2



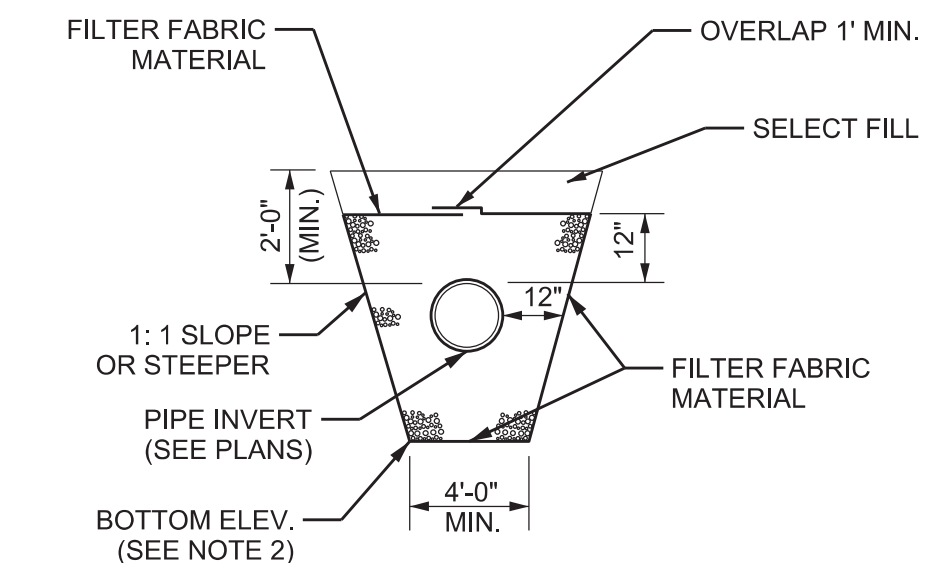
LONGITUDINAL SECTION

NOTES:

1. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PREVENT CONTAMINATION OF THE EXFILTRATION TRENCH WITH SAND, SILT AND FOREIGN MATERIALS DURING THE CONSTRUCTION PHASE OF THE PROJECT.
2. THE BOTTOM OF THE EXFILTRATION TRENCH SHALL BE 15'-0" BELOW EXISTING GROUND ELEVATION, UNLESS FIELD CONDITIONS WARRANT OTHERWISE.
3. AFTER THE BALLAST ROCK HAS BEEN PLACED TO THE PROPER ELEVATION, IT SHALL BE CAREFULLY WASHED DOWN WITH CLEAN WATER IN ORDER TO ALLOW FOR INITIAL SETTLEMENT TO OCCUR. IF SETTLEMENT DOES TAKE PLACE, THEN ADDITIONAL BALLAST ROCK WILL BE ADDED TO RESTORE THE ROCK TO THE PROPER ELEVATION, SO THAT THE EXFILTRATION TRENCH WILL BE COMPLETED IN ACCORDANCE WITH THE DETAILS.
4. INVERT ELEVATION TO BE AS SHOWN ON DETAIL OR AS INDICATED ON W.C. 2.2 (AVERAGE OCTOBER GROUND WATER LEVEL), WHICHEVER ELEVATION IS HIGHER.
5. REFER TO THE MIAMI DADE COUNTY PUBLIC WORKS MANUAL DETAIL SD 1.1 (SHEET 2 OF 3) FOR ADDITIONAL DESIGN INFORMATION.
6. IF THIS DETAIL IS TO BE USED FOR PRE-TREATMENT OF STORMWATER RUN-OFF, THEN THE INVERT OF THE PIPE IS TO BE AS SHOWN IN W.C. 2.2 (AVERAGE OCTOBER GROUND WATER LEVEL), OR HIGHER. IF PRE-TREATMENT HAS BEEN PROVIDED THROUGH OTHER MEANS, THEN THE INVERT OF PIPE CAN BE LOWER THAN SHOWN IN W.C. 2.2.
7. FILTER FABRIC MATERIAL SHALL BE SUBSURFACE DRAINAGE TYPE D-3 MEETING THE REQUIREMENTS OF F.D.O.T. SPECS. SECTION 985. ALL FILTER FABRIC JOINTS SHALL OVERLAP A MINIMUM OF ONE (1) FOOT. FILTER FABRIC SHALL BE INSTALLED AT EACH SIDE, TOP AND BOTTOM OF TRENCH. AT ALL EXFILTRATION TRENCH LOCATIONS SHOWN ON PLANS.
8. A POLLUTION RETARDANT BAFFLE (P.R.B.) SHALL BE INSTALLED ON EACH STRUCTURE WALL, AT PIPE OPENING PRECEDING EXFILTRATION TRENCH. REFER TO DETAIL OF P.R.B. FOR SPECIFICATIONS AND INSTALLATION INFORMATION.



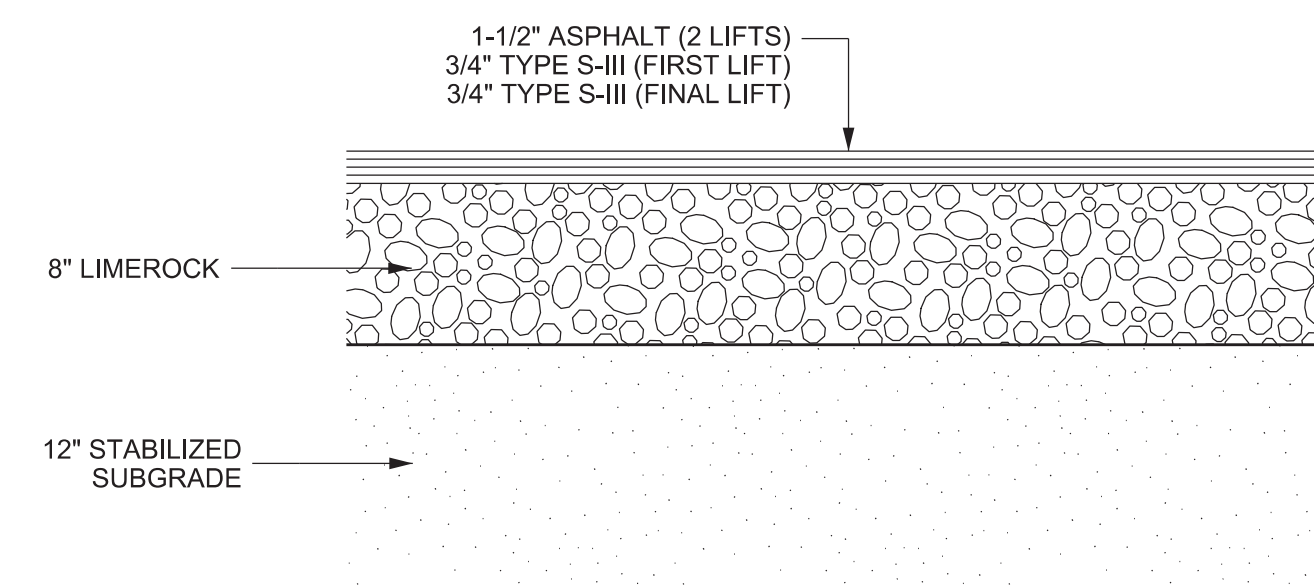
TRANSVERSE SECTION



ALTERNATE TRANSVERSE SECTION

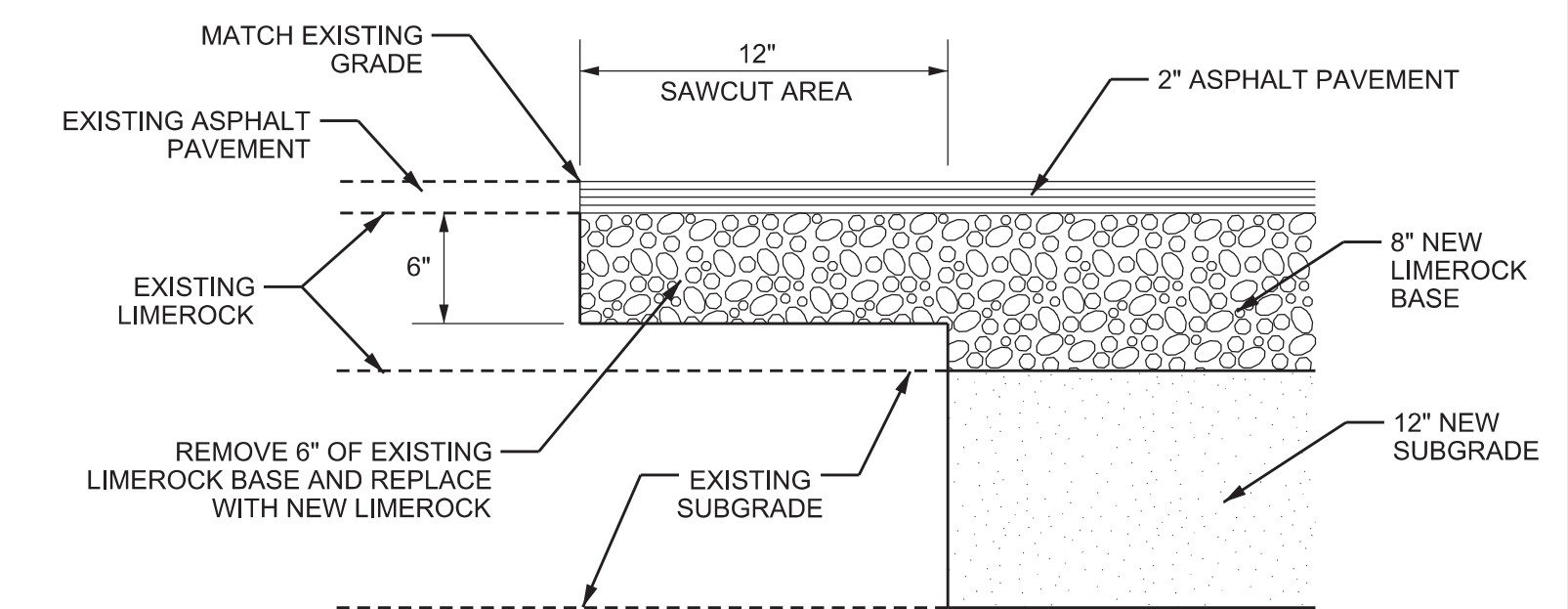
MAY BE USED IN AREAS WHERE TRENCH WALLS WILL NOT STAND VERTICAL, OR WHERE CAVE IN BELOW THE WATER TABLE IS LIKELY TO OCCUR. TO BE USED AT THE ENGINEER'S DISCRETION.

STANDARD EXFILTRATION TRENCH DETAIL



ON-SITE ASPHALT SECTION

N.T.S.



PAVEMENT CONNECTION DETAIL

N.T.S.

**M.D.C. PUBLIC WORKS DEPARTMENT
TYPE 'P' INLET DETAIL**

N.T.S.

U.S.F. 4700 FRAME AND 6223 HINGED GRATE DETAIL

N.T.S.

NO	DATE	BY	REVISIONS

HSD
HSQ GROUP, INC.
 Engineers - Planners - Surveyors
 5951 Northwest 173rd Drive, Suite 4
 Miami, Florida 33015 - 786.534.8821
 C26258 - LB7924

851 N.E. 167th STREET

PAVING AND DRAINAGE DETAILS

DATE:	10/18
DESIGNED BY:	J.S.
DRAWN BY:	J.S.
CHECKED BY:	A.Q.

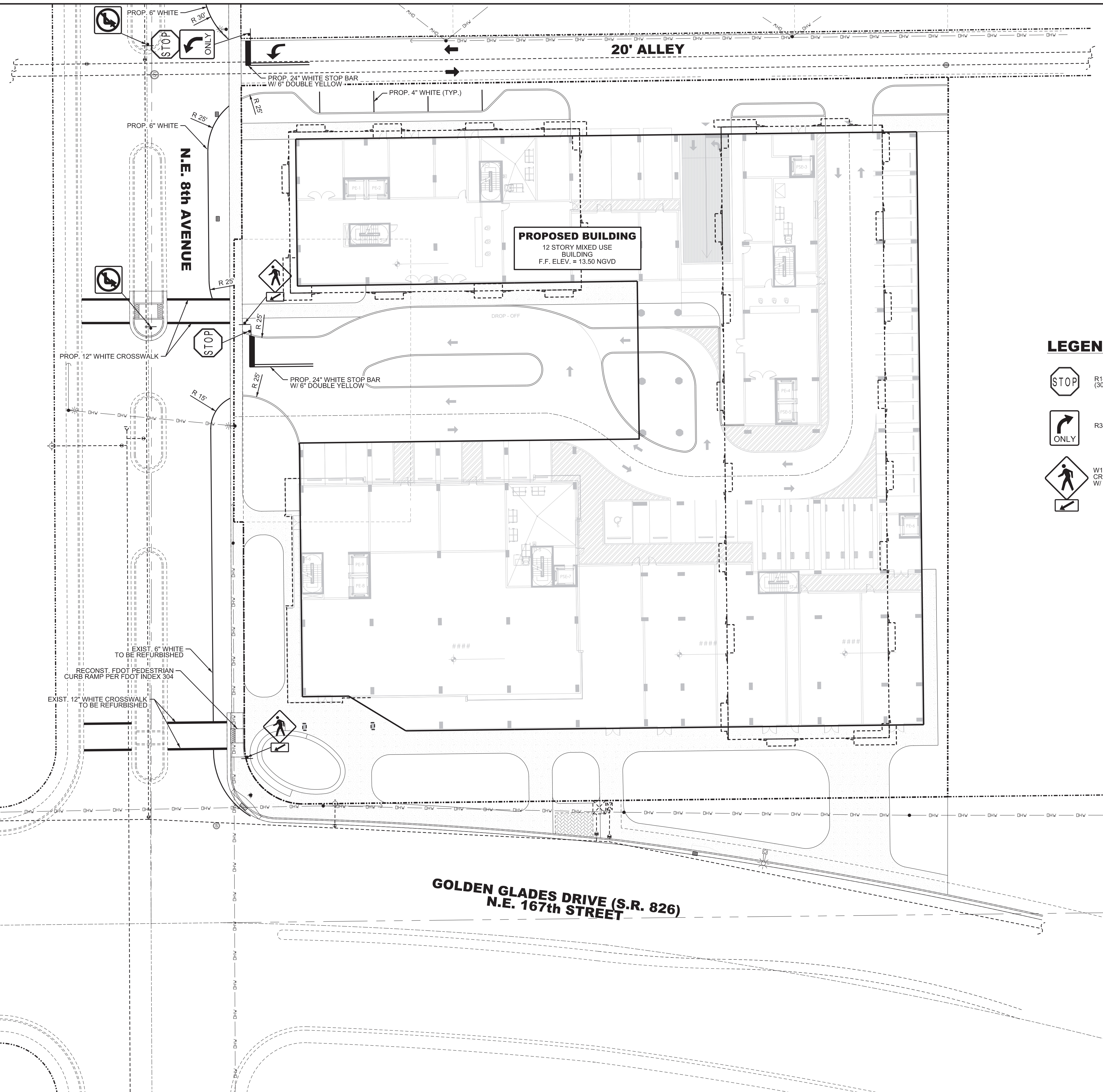
Professional Engineer Seal for Jesus J. Suarez, P.E., License No. 74556, State of Florida.

PROJECT:	1809-76
SHEET:	PD-2

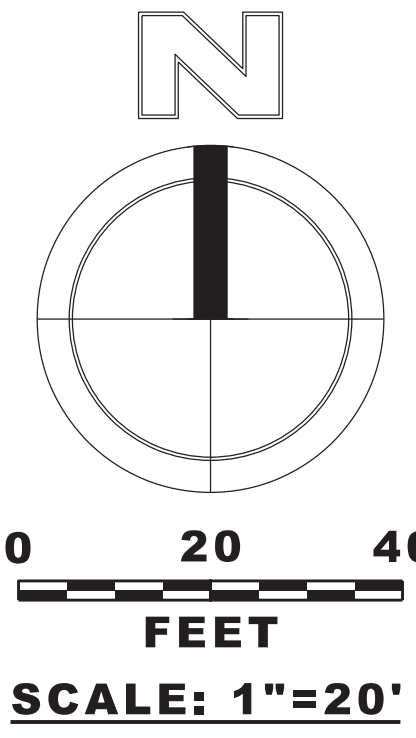
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Sunshine811
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 Check positive response codes before you dig!

\\HSO-Broward\Civil\Projects\2018\1809-76_801_NE_167th_Street\Drawings\Construction\Plans\180976-SM1001.dgn



PROPOSED BUILDING
12 STORY MIXED USE BUILDING
F.F. ELEV. = 13.50 NGVD



LEGEND:

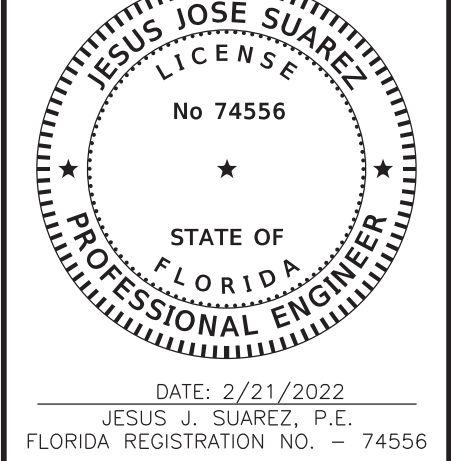
- R1-1 "STOP SIGN" (30" X 30")
- R3-5R "RIGHT TURN ONLY"
- W11-02 "PEDESTRIAN CROSSING SIGN" W/ W16-07PL ARROW

NO	DATE	BY	REVISIONS
2	2/21/2022	AC	REVISED PER CITY REVIEW COMMENTS
1	7/20/2021	AC	REVISED PER CITY REVIEW COMMENTS

HSQ
HSQ GROUP, INC.
 Engineers - Planners - Surveyors
 5951 Northwest 173rd Drive, Suite 4
 Miami, Florida 33015 - 786.534.3821
 C26258 - LB7924

851 NE 167th STREET
CONCEPTUAL SIGNING AND MARKING PLAN

DATE: 10/18
 DESIGNED BY: J.S.
 DRAWN BY: J.S.
 CHECKED BY: A.Q.



DATE: 2/21/2022
 JESUS J. SUAREZ, P.E.
 FLORIDA REGISTRATION NO. - 74556
 PROJECT: 1809-76
 SHEET: SM-1

M:\HSQ\Broward\Civil\Projects\2018\1809-76_801_NE_167th_Street\Drawings\Construction\Plans\180976-SPM001.dwg

Public Sidewalk Curb Ramp
Sign No. FFP-21-06 and FFP-22-06

Sign No. FFP-21-06 and FFP-22-06
Public Sidewalk Curb Ramp
Sign No. FFP-21-06 and FFP-22-06

3-4" White Diagonal
Equally Spaced Per Axis

Sign No. FFP-21-06 and FFP-22-06
Public Sidewalk Curb Ramp
Sign No. FFP-21-06 and FFP-22-06

TYPICAL
Public Sidewalk Curb Ramp

MINIMUM PARKING RESTRICTION FOR NONSIGNALIZED INTERSECTIONS

SPEED (MPH)	UP STREAM (A)	DOWN STREAM (B)
0-30	80'	60'
35	100'	70'

NOTES:

- Distances measured longitudinally along the street from driver location of entering vehicle to end of parking restriction.
- Distances applicable to intersecting street, major driveways and other driveways to the nearest practical.
- For nonsignalized intersections, the values above shall be compared with the values for signalized intersections and the maximum restrictions implemented. These restrictions apply to both accessible and nonaccessible parking.

UNIVERSAL SYMBOL OF ACCESSIBILITY

4.53 x 1.5

MINIMUM PARKING RESTRICTION FOR SIGNALIZED INTERSECTION

SPEED LIMIT (MPH)	SIGNALIZED INTERSECTIONS	DISTANCE FROM CURB (RADIUS) (FT)
0-30	30'	
35	50'	

PARKING RESTRICTION (FT.) FOR SIGNALIZED INTERSECTION

NOTES:

- Parking restrictions measured from curb radius point.
- Restrictions for accessible parking are the same as those applied to nonsignalized intersections.

GENERAL NOTES (Signalized & Nonsignalized)

- For entrances to a one-way street, the downstream restriction may be reduced to 20'.
- Parking shall not be allowed within 20' of a crosswalk.
- All parking lane markings shall be 6" white.
- Parking lane lines shall be broken at driveways.
- Refer to Chapter 316, Fla. Statutes, for laws governing parking spaces.
- Where curb and gutter is used, the gutter pan width may be included as part of the minimum width of parking lanes, but generally the lane width should be in addition to that of the gutter pan.

FOR ACCESSIBLE MARKINGS - SEE ABOVE

ANGLE	"A"	"B"	"C"	"D"	"E"
45°	19'-1"	12'-0"	7'-0"	27'-0"	17'-0"
60°	20'-1"	10'-5"	5'-0"	22'-2"	12'-10"

NOTES:

- Dimensions are to the centerline of markings.
- An Access Aisle is required for each accessible space when angle parking is used.
- Criteria for pavement markings only, not public sidewalk curb ramp locations. For ramp locations refer to plans.
- Blue pavement markings shall be tinted to match shade 15180 of Federal Standard 595a.
- The FFP-22-06 panel shall be mounted below the FFP-21-06 sign.

PAVEMENT MARKING FOR PUBLIC SIDEWALK CURB RAMP IN REST AREAS

NO	DATE	BY	REVISIONS

HSQ GROUP, INC.
Engineers - Planners - Surveyors
5951 Northwest 73rd Drive, Suite 4
Miami, Florida 33015 - 786.534.3821
C26256 - LB7924

851 NE 167th STREET

SIGNING AND MARKING DETAILS

DATE: 06/18
DESIGNED BY: J.S.
DRAWN BY: J.S.
CHECKED BY: A.Q.

JESUS JOSE SUAREZ
LICENSE
No 74556
STATE OF FLORIDA
PROFESSIONAL ENGINEER

DATE: 9/30/2020
JESUS J. SUAREZ, P.E.
FLORIDA REGISTRATION NO. - 74556
PROJECT: 1809-76
SHEET: SM-2

LAST REVISION 11/01/16	DESCRIPTION:	FDOT FY 2017-18 DESIGN STANDARDS	INDEX NO. 17346	SHEET NO. 15 of 17
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Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine applicability of the layout to existing or future field conditions. This lighting pattern represents illumination levels calculated from laboratory data taken under controlled conditions utilizing current industry standard lamp ratings in accordance with Illuminating Engineering Society approved methods. Actual performance of any manufacturer's luminaire may vary due to variation in electrical voltage, tolerance in lamps and other variable field conditions.

NOTES:

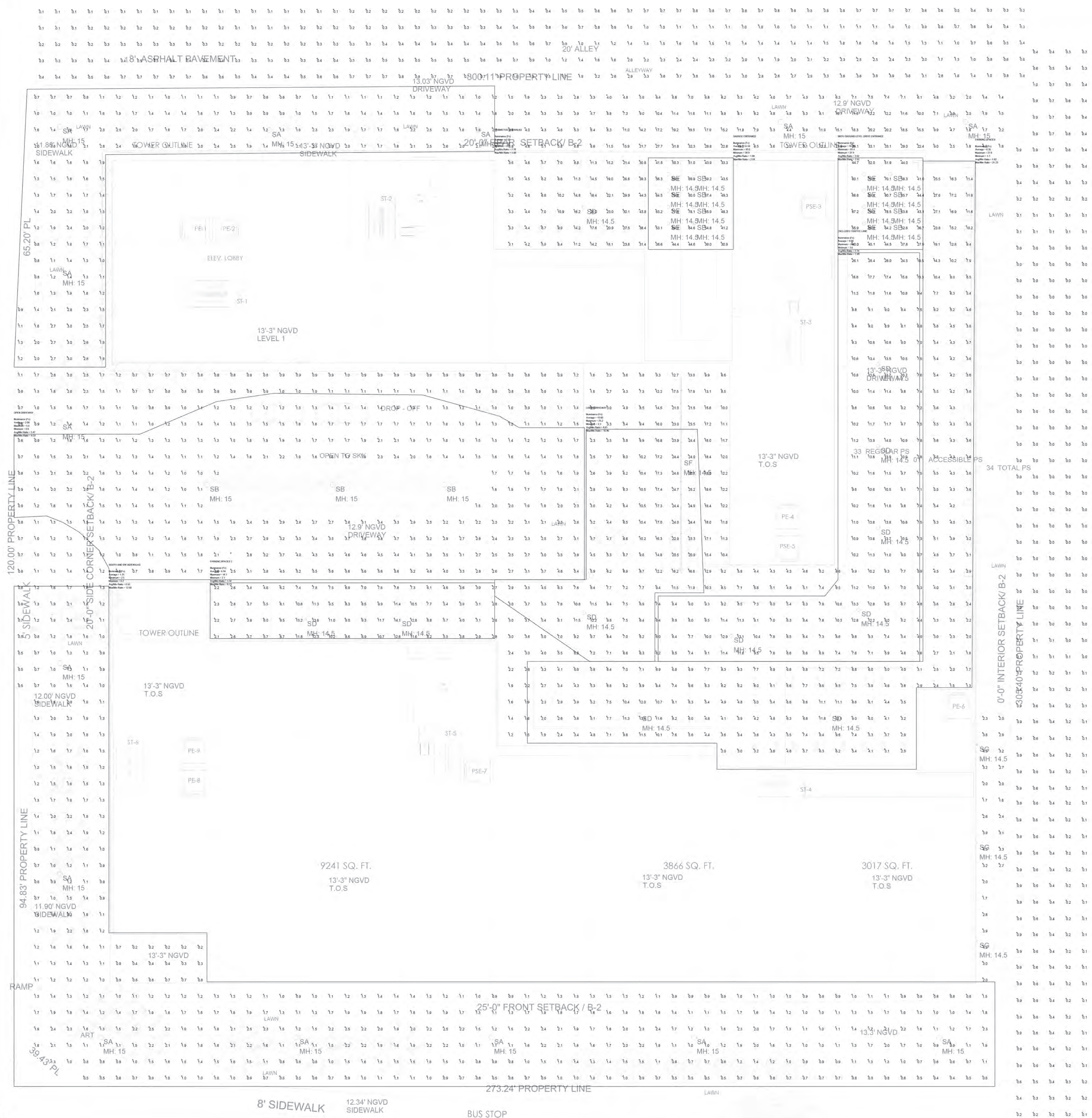
No.	Revision/Issue	Date
3	PHOTOMETRIC SITE PLAN	03/26/20
2	PHOTOMETRIC SITE PLAN	12/03/18
1	PHOTOMETRIC SITE PLAN	10/03/18

LIGHTING DYNAMICS, INC.
7835 West Commercial Blvd.
Tamarac, FL 33351
(954) 944-0286
www.lightingdynamics.com

Project Name and Address
851 NE 167TH STREET
SITE LIGHTING PLAN
North Miami Beach, FL

FILE: P:\PROJECTS\2018\JUNE
CLIENT: KOBI KARP / ECHAD HOLDINGS

Project: 851 NE 167TH ST
Date: 03/26/20
Scale: 1/16" = 1'
Sheet: **L1**
DRAWN BY: S.D. RAGUSA



851 NE 167TH STREET LIGHTING FIXTURE SCHEDULE							
TYPE	DESCRIPTION	MFR	CATALOG NUMBER	VOLTS	LAMPS	INPUT WATTS	REMARKS
SA	ARCHITECTURAL LED POST TOP LUMINAIRE ON 13 POLE	INWJE	ARB-B2-LED-D1-T2-FINISH / 13 POLE	UNV	LED	48W	13 POLE
SB	ARCHITECTURAL LED POST TOP LUMINAIRE ON 13 POLE	INWJE	ARB-B2-LED-D1-T5-FINISH / 13 POLE	UNV	LED	48W	13 POLE
SC	SURFACE MOUNTED LED GARAGE LUMINAIRE, PARKING SPACES	MCGRAW EDISON	TT-C3-LED-E1-WO	UNV	LED	45W	SURFACE
SD	SURFACE MOUNTED LED GARAGE LUMINAIRE, DRIVE LANES	MCGRAW EDISON	TT-C6-LED-E1-MQ	UNV	LED	108W	SURFACE
SE	SURFACE MOUNTED LED GARAGE LUMINAIRE, ENTRANCES	MCGRAW EDISON	TT-C6-LED-E1-CQ	UNV	LED	108W	SURFACE
SF	SURFACE MOUNTED LED EXTERIOR LINEAR LUMINAIRE	AXIS	WBSLED-750-80-40-S-80FT-FINISH-UJV-D-1-SC	UNV	LED	8.3W/FT	SURFACE
SG	WALL MOUNTED LED AREA LUMINAIRE	LUMARK	XTOR2B-FINISH	UNV	LED	18W	WALL

FOR QUESTIONS PERTAINING TO THIS FIXTURE SCHEDULE PLEASE CONTACT SANDY LANGNER @ LIGHTING DYNAMICS (954) 214-4286; SLANGNER@LIGHTINGDYNAMICS.COM

Symbol	Qty	Label	Arrangement	Lum. Lumens	Arr. Lum. Lumens	LLF	Lum. Watts	Arr. Watts
SA	14	SA	SINGLE	3994	3994	0.900	48	48
SB	3	SB	SINGLE	4529	4529	0.900	41	41
SD	11	SD	SINGLE	12277	12277	0.900	108	108
SE	18	SE	SINGLE	12462	12462	0.900	108	108
SF	1	SF	GROUP	N.A.	44625	N.A.	455	455
SG	3	SG	SINGLE	2135	2135	0.900	18.2	18.2

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
EAST PROPERTY LINE	Illuminance	Fc	0.38	2.1	0.0	N.A.	N.A.
NORTH PROPERTY LINE	Illuminance	Fc	0.90	3.9	0.1	9.00	39.00
SITE	Illuminance	Fc	6.20	81.4	0.2	31.00	407.00
ENCLOSED TRAFFIC LANE	Illuminance	Fc	9.99	28.4	3.6	7.80	7.80
GARAGE ENTRANCE	Illuminance	Fc	55.58	80.0	30.9	1.50	2.50
LOBBY DRIVEWAY	Illuminance	Fc	10.60	25.2	2.3	4.61	10.96
NORTH GROUND LEVEL DRIVE ENTRANCE	Illuminance	Fc	56.40	81.4	27.9	2.02	2.92
OPEN DRIVEWAY	Illuminance	Fc	2.08	5.8	0.6	3.47	9.33
PARKING SPACES	Illuminance	Fc	6.26	27.6	1.3	4.82	21.23
PARKING SPACES 2	Illuminance	Fc	6.94	14.1	2.1	3.30	6.71
PERIMETER SIDEWALKS	Illuminance	Fc	1.62	3.0	0.6	2.70	5.00
SOUTH AND SW SIDEWALKS	Illuminance	Fc	1.31	2.5	0.2	6.55	12.90