



STATE OF FLORIDA)
COUNTY OF MIAMI-DADE)
CITY OF NORTH MIAMI BEACH)

OFFICE OF THE CITY CLERK

RECORDS CERTIFICATION
CITY OF NORTH MIAMI BEACH
CERTIFICATE OF AUTHENTICITY

I, Pamela L. Latimore, the duly appointed City Clerk of the City of North Miami Beach, and keeper of the records of the City of North Miami Beach, do hereby certify:

That the hereto attached and foregoing is a fully, true, complete and correct copy of Resolution No. 2017-67 consisting of six (6) page(s), as passed by the City Commission of the City of North Miami Beach, Florida at their Regular City Commission Meeting held on the eighteenth (18th) day of July, 2017, the original of which is now on file in the Office of the City Clerk in the City of North Miami Beach, and, which said Resolution is still in full force and effect.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the official seal of the City of North Miami Beach, Florida this 21st day of September, A.D., 2017.

(SEAL)

PAMELA L. LATIMORE, CMC, CITY CLERK
CITY OF NORTH MIAMI BEACH

RESOLUTION NO. R2017-67

A RESOLUTION OF THE MAYOR AND CITY COMMISSION OF THE CITY OF NORTH MIAMI BEACH, FLORIDA, APPROVING THE VACATION AND ABANDONMENT OF THAT PORTION OF A 20 FOOT ALLEY TOTALING 13,513 SQUARE FEET LYING EAST OF AND ADJACENT TO BLOCK 5 OF "A SUBDIVISION OF A PORTION OF TRACT "A" GREYNOLDS PARK GARDENS" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 55, PAGE 57 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, IN FAVOR OF ADJACENT PROPERTY OWNER, LAAAJ, LLC. (THE "APPLICANT"), WITH SUCH VACATION SUBJECT TO AND CONTINGENT UPON THE CITY'S APPROVAL AND THE CITY AND APPLICANT'S EXECUTION OF A DEVELOPMENT AGREEMENT.

WHEREAS, the Applicant requests the vacation of a 20 foot wide 13,513 square foot alley abutting their property; and

WHEREAS, the alley is situated along the east boundary of applicant's property and the west boundary of the Florida East Coast ("FEC") right of way corridor; and

WHEREAS, all the applicable public or private utility companies that serve the property have reviewed the proposed vacation of the alley and have provided letters of no objection or easements requests for the existing or proposed applicable utilities; and

WHEREAS, the proposed rear driveway along the east boundary will serve as adequate access to the proposed development as required by the MU/NC Zoning District Regulations and the dedication of this alley on the Greynolds Park Gardens Plat no longer serves a public purpose; and

WHEREAS, the City Administration recommends approval of the vacation subject to and contingent upon the City's approval and the City and Applicant's execution of a development agreement and the following conditions:

1. Prior to the issuance of a Certificate of Occupancy, provide a decorative paving material that matches the center driveway paving material throughout the entire rear driveway, which is the former 20 foot alley.
2. Prior to the issuance of a Master Building Permit, provide final written letters of no objection from all the applicable Utility Service Providers outlined by the Letter of Intent prepared by Schwebke-Shiskin & Associates, Inc. dated May 17, 2017.
3. Prior to the issuance of a Certificate of Occupancy, provide the City of North Miami Beach Community Development Department and Public Works Department a publicly recorded copy of the 20 foot Utility Easement; and

WHEREAS, the Mayor and City Commission hereby approve and find that the alley, legally described and shown in the attached Exhibit "A," no longer serves a valid public purpose and it is in the best interests of the City to vacate the alley subject to the conditions provides above.

NOW THEREFORE, BE IT RESOLVED by the City Commission of the City of North Miami Beach, Florida:

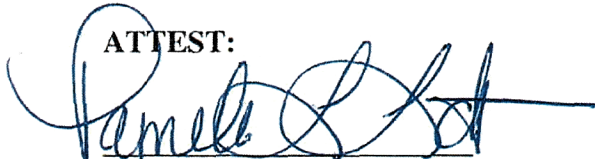
Section 1. The foregoing recitals are true and correct.

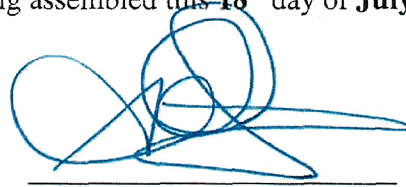
Section 2. The Mayor and City Commission hereby approve and find that the alley, legally described and shown in the attached Exhibit "A," no longer serves a valid public purpose and it is in the best interests of the City to vacate the alley subject to and contingent upon the City's approval, execution of a development agreement and the following conditions:

1. Prior to the issuance of a Certificate of Occupancy, provide a decorative paving material that matches the center driveway paving material throughout the entire rear driveway, which is the former 20 foot alley.
2. Prior to the issuance of a Master Building Permit, provide final written letters of no objection from all the applicable Utility Service Providers outlined by the Letter of Intent prepared by Schwebke-Shiskin & Associates, Inc. dated May 17, 2017.
3. Prior to the issuance of a Certificate of Occupancy, provide the City of North Miami Beach Community Development Department and Public Works Department a publicly recorded copy of the 20 foot Utility Easement

APPROVED AND ADOPTED by the Mayor and City Commission of the City of North Miami Beach, Florida at the regular meeting assembled this **18th** day of **July, 2017**.

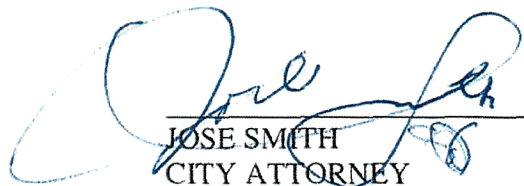
ATTEST:


PAMELA LATTIMORE
CITY CLERK


GEORGE VALLEJO
MAYOR

(CITY SEAL)

APPROVED AS TO FORM, LANGUAGE
AND FOR EXECUTION:


JOSE SMITH
CITY ATTORNEY

Sponsored by: Mayor and City Commission

RESOLUTION NO. R2017-67

EXHIBIT "A"
LEGAL DESCRIPTION OF ALLEY

COUSINS SURVEYORS & ASSOCIATES, INC.



3921 SW 47TH AVENUE, SUITE 1011
DAVIE, FLORIDA 33314
CERTIFICATE OF AUTHORIZATION : LB # 6448
PHONE (954) 689-7766 FAX (954) 689-7799

PROJECT NUMBER : 8131-16

CLIENT :

MACKEN

LAND DESCRIPTION AND SKETCH

LAND DESCRIPTION :

A 20 FOOT ALLEY LYING EAST OF AND ADJACENT TO BLOCK 5 OF "A SUBDIVISION OF A PORTION OF TRACT "A" GREYNOLDS PARK GARDENS", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 55, PAGE 57 OF THE PUBLIC RECORDS OF MIAMI/DADE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHEAST CORNER OF SAID BLOCK 5;

THENCE NORTH 00°00'00" EAST ALONG THE EAST LINE OF SAID BLOCK 5, A DISTANCE OF 620.24 FEET;

THENCE NORTH 17°31'43" WEST ALONG THE EAST LINE OF SAID BLOCK 5, A DISTANCE OF 41.70 FEET;

THENCE NORTH 25°42'39" EAST ALONG THE EASTERLY RIGHT-OF-WAY LINE OF WEST DIXIE HIGHWAY, A DISTANCE OF 29.20 FEET;

THENCE SOUTH 17°31'43" EAST, A DISTANCE OF 66.04 FEET;

THENCE SOUTH 00°00'00" WEST ALONG THE WEST RIGHT OF WAY LINE OF THE FLORIDA EAST COAST RAILWAY, A DISTANCE OF 623.32 FEET;

THENCE SOUTH 90°00'00" WEST, A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE, LYING AND BEING IN MIAMI/DADE COUNTY, FLORIDA; CONTAINING 13,513 SQUARE FEET MORE OR LESS.

LEGEND:

CKD CHECKED BY
DWN DRAWN BY
FB/PG FIELD BOOK AND PAGE
P.B. PLAT BOOK
M/D.C.R. MIAMI/DADE COUNTY RECORDS
POB POINT OF BEGINNING
POC POINT OF COMMENCEMENT

NOTES:

1. NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
2. LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS-OF-WAY, EASEMENTS, OWNERSHIP, OR OTHER INSTRUMENTS OF RECORD.
3. DATA SHOWN HEREON DOES NOT CONSTITUTE A FIELD SURVEY AS SUCH.
4. THE LAND DESCRIPTION SHOWN HEREON WAS PREPARED BY THE SURVEYOR.
5. BEARINGS SHOWN HEREON ARE ASSUMED.

I HEREBY CERTIFY THAT THE ATTACHED "LAND DESCRIPTION AND SKETCH" IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS PREPARED UNDER MY DIRECTION IN JANUARY, 2017. I FURTHER CERTIFY THAT THIS "LAND DESCRIPTION AND SKETCH" MEETS THE MINIMUM TECHNICAL STANDARDS FOR SURVEYING IN THE STATE OF FLORIDA ACCORDING TO CHAPTER 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE. PURSUANT TO SECTION 472.027, FLORIDA STATUTES. SUBJECT TO THE QUALIFICATIONS NOTED HEREON.

FOR THE FIRM, BY: _____

Richard E. Cousins

RICHARD E. COUSINS
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA REGISTRATION NO. 4188

REVISIONS	DATE	FB/PG	DWN	CKD
LAND DESCRIPTION AND SKETCH	01/03/17	----	AM	REC

LAND DESCRIPTION
AND SKETCH
TO VACATE
20' ALLEY

PROPERTY :

WEST DIXIE HIGHWAY

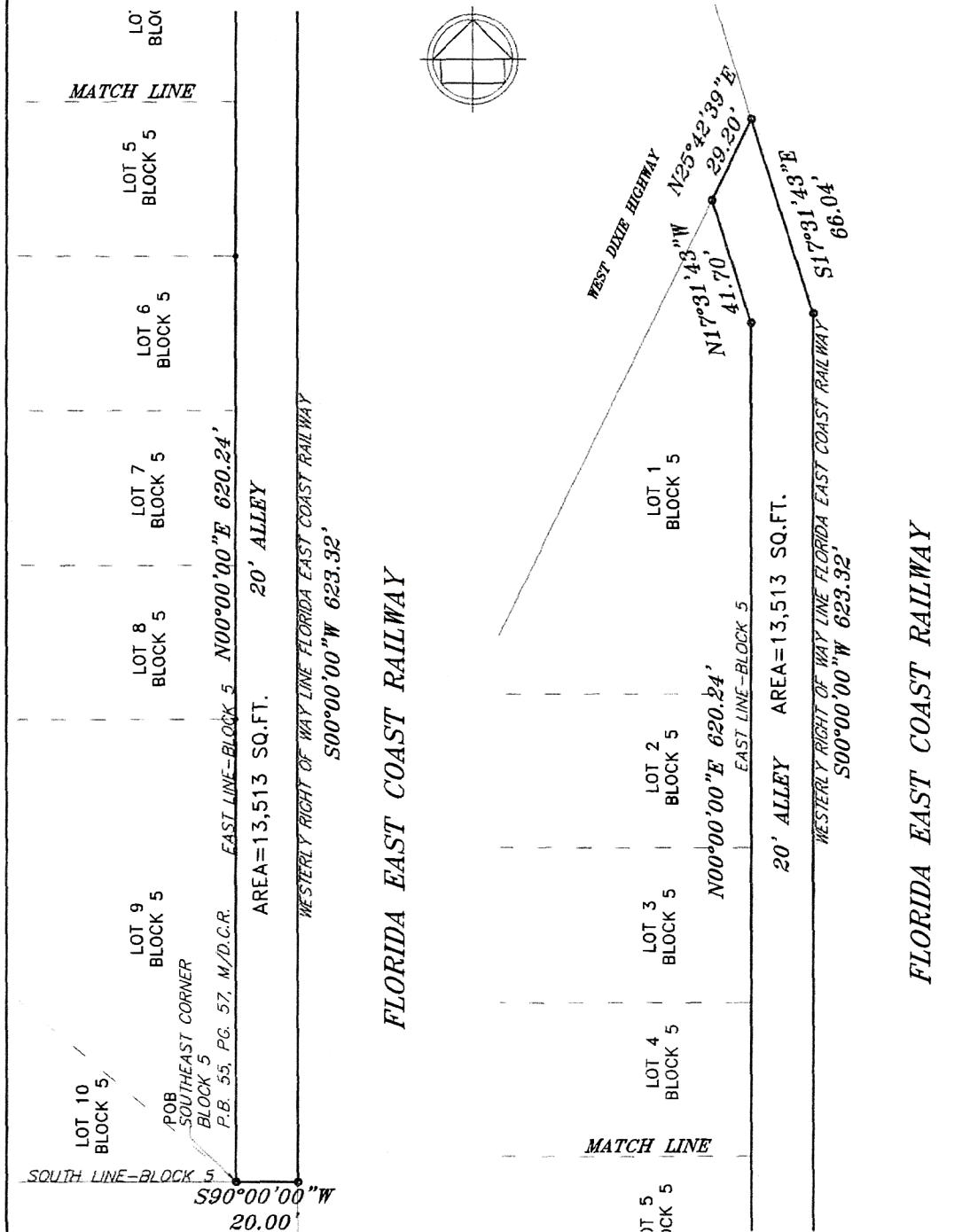
SCALE: N/A

SHEET 1 OF 2

PROJECT NUMBER : 8131-16

CLIENT :

MACKEN



REVISIONS	DATE	FB/PG	DWN	CKD
LAND DESCRIPTION AND SKETCH	01/03/17	----	AM	REC

LAND DESCRIPTION
AND SKETCH
TO VACATE
20' ALLEY

PROPERTY :
WEST DIXIE HIGHWAY

SCALE: 1" = 40'

SHEET 2 OF 2

