

Memorandum

Date: April 1, 2021

To: Mr. Edward Ng, AIC, Interim Planning and Zoning Manager
Planning and Zoning Department
City of North Miami Beach

From: Trinsic Acquisition Company LLC (the “Applicant”)
Joseph G. Goldstein, Esq.
Vanessa Madrid, Esq.

Re: **Item #21 Aura (f.k.a. 5 Park) – 16955-17071 West Dixie Highway**

**Response to Technical Review of Applications for Development (TRAD) comments
dated March 25, 2021**

Please refer to the sections described below for the applicant’s responses to the TRAD comments.

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SECTION I. UTILITIES & ENGINEERING

GENERAL:

This project consists of demolishing a one story office building (16,630 sq. ft.) and a one story retail center, to be replaced with an 8-story, 621,613 square foot mixed use building with 375 residential dwelling units, approximately 17,000 square feet of commercial space on the ground floor, a parking garage and related amenities.

WATER:

- 1) Site is lies within the City of North Miami Beach water service area with the following water mains surrounding the site:
 - A. 6” water main along NE 170 Street (40-foot easement) and on the East side along the 20-foot alley , stubbed out at the South property limit (of the Macken building) coming from the South. This is location of existing meter.
 - B. 12” water main stub out at the North end of the property off Dixie Hwy. and 171 Street, coming from the West along NE 171 Street.
 - C. 8” water main feed line coming from the South along West Dixie Highway

Response: Acknowledged

- 2) The nearest fire hydrants are at West Dixie and 170 Street and also at 171 Street.

Response: Acknowledged

- 3) The City (NMB Water) will require upgrading the old 6-inch water that runs along NE 170 Street and along the rear alley with a new 12-inch water main extension for fireflow. This was discussed and noted during the 2015 TRAD for the original Macken project and again in the 5-Park resubmission in 2020. The current plans as prepared by Ross Engineering show very schematically a future water main along West Dixie Highway.

Response: The future water main is shown on West Dixie and will be further developed during construction documents.

- 4) All fire hydrants within the perimeter will need to be replaced.

Response: All Fire hydrants will be coordinated with MD Fire Department and shown on the construction documents.

- 5) A new hydrant will be necessary at the North end of the project.

Response: All Fire hydrants will be coordinated with MD Fire Department and shown on the construction documents.

- 6) All existing water services will need to be disconnected prior to demolition of the existing buildings.

Response: A note will be added on the construction documents for all existing services to be disconnected prior to demolition.

- 7) Inplant fees for the facility will be computed based on 10 gallons per day (gpd) per 100 square foot (sf) for retail use and 135 gpd for apartment units, assessed at \$5.22 per gpd. New Irrigated areas are assessed at 0.09 gpd per square foot of irrigated area. Credits for the facilities being demolished: office space (being demolished) at 5 gpd per 100 sf as well as the retail center at 10 gpd per 100 sf shall be applied.

Response: Acknowledged

- 8) Fireflow Demand Charges will be evaluated for this site. FFDC is assessed at a rate of \$1.75 per s.f. of gross square footage for commercial space and \$1.05 per s.f. for the residential component on a reducing sliding scale based on the square footage. (see Ord 2006-20)

Response: Acknowledged

- 9) NMB Water fees noted herein are subject to change in the near future.

Response: Acknowledged

SEWER:

- 10) Site lies within the Miami- Dade Water and Sewer Dept. (MDWASD) sewer service area.

Response: Sewer will be permitted through MDWASD

- 11) A gravity sanitary sewer line is located along West Dixie Highway.

Response: The new sanitary sewer line will connect to the existing sewer on West Dixie.

- 12) MDWASD should be contacted for availability and requirements to connect.

Response: Acknowledged

- 13) It is suggested they inquire as to any moratoriums or capacity issues for the flows generated by this project with pump station #312.

Response: Acknowledged

- 14) The County will assess a sewer connection fee based on gallonage. Their current rate is \$5.60 per gallon per day. They must be contacted for their approvals and rates at time of application.

Response: Acknowledged

ADDITIONAL COMMENTS:

- 15) On page SP1, site plan shows a “20’ private access drive”. Was the 20’ alley vacated? If not, is that the intent? According to the survey provided it is a public alleyway. Our 6” water main and meters are located in that alley.

Response: The 20’ alley (the “Alley”) was vacated by Resolution pursuant to the Development Agreement recorded in OR BK 30628, PG 3272-3353 and City Resolution No. 2017-67. As such, the Alley has reverted back to the adjacent property owners (LAAAJ, LLC). In accordance with Resolution No. 2017-67, the Applicant will comply with the following conditions at the appropriate time, as prescribed:

- ***Prior to the issuance of a Certificate of Occupancy, provide a decorative paving material that matches the center driveway paving material throughout the entire rear driveway, which is the former 20 foot alley.***
- ***Prior to the issuance of a Certificate of Occupancy, provide final written letters of no objection from all the applicable Utility Service Providers.***
- ***Prior to the issuance of a Certificate of Occupancy, provide the City of North Miami Beach Community Development Department and Public Works Department a publicly recorded copy of the 20 foot Utility Easement.***

- 16) Similarly, the rear alley will be encroached with proposed drainage lines. Will the alley be vacated for this project? The drainage lines as shown would be in conflict with the existing 6” water main, which could be asbestos.

Response: The drainage lines are 19 FT. away from the 6” water main.

- 17) Civil plans prepared by Ross Engineers: shows a future water main along West Dixie Highway. Plans need to clarify the old 6” water main in the rear alley needs to be retired & replaced with appropriate sized for fire protection.

Response: The new watermain will be located along West Dixie. Coordination with MD Fire Department will be done during construction documents.

- 18) A fireflow test dated 6/18/21 shows low residual pressure, which is clearly not adequate for this project. It further supports the need to loop the water system and upsize the water line to 12 inch.

Response: A new 12” line is show to be looped along West Dixie.

- 19) We don’t see a plan showing fire hydrants referenced by Ross Engineers in tab 15 comment 10 & 13.

Response: The existing fire hydrant along Dixie will be relocated to the new 12” main. Coordination with MD Fire Department will be done during construction documents.

- 20) The water demand analysis prepared by Ross Engineers is using incorrect flows. They should use updated flows as per DERM.

Response: The calculations showing correct flows have been included in this submittal.

PLANS:

- 21) Building plans must be submitted to NMB Water for review and assessment of above referenced fees and for sign off after payment of said fees.

Response: We will submit our plans to NMB water for their review.

- 22) This process and above referenced approvals must take place prior to a building permit being issued by the City's Building Dept.

Response: Acknowledged.

- 23) Civil plans are reviewed separately by NMB Water for approval.

Response: Acknowledged.

SECTION II. PUBLIC WORKS

1. The Paving and Drainage comments of June 24, 2020 for the “5-Park” development are still applicable for this major Site Plan modification. Drainage and Pavement review will be undertaken during the permitting process.

Response: Acknowledged.

2. Provide approvals from all Authorities having jurisdiction including Miami-Dade County DERM and Florida Department of Environmental Protection for drainage.

Response: Acknowledged.

3. Discussions should have been with Miami-Dade County for ingress and egress on West Dixie Highway because of the impending roadway improvement project.

- A. The Proposed Improvements to Harriet Tubman Highway from NE 164th Street to NE 173rd Street is at 100% design and the project is expected to go out to Bid by mid-year.

- B. West Dixie/Harriet Tubman Highway is proposed to be widened to accommodate two traffic lanes and a bike lane in either direction, inclusive of a median. As such, the distance from EOP to R/W Line near the Aura development will be approx. 15’.

- C. The proposed Landscaping, on-street parking and Paving plans for the Aura Development would be affected by the M-D County project.

- D. Provide evidence that the M-D County has reviewed and approved the development project.

Response: Plans have been updated to include the proposed expansion of West Dixie Highway based on the plans provided by the Miami-Dade County DTPW Highway Division.

SECTION III. POLICE / CPTED

The purpose of this review is to provide Security/CPTED recommendations. This report is only advisory and is not intended to identify all Security/CPTED weaknesses or to warrant the adequacy of all present and future Security/CPTED measures, whether or not recommended.

Response: Acknowledged

Area(s) of Concern:

- Building Security Concerns
- Photometric (Non-Readable)
- Trespassers on Property Concern
- Signage Plan – Additional Signs
- No Traffic Impact Study
- Emergency Contact Information

Recommendations:

1. Close Circuit Television (CCTV) for the interior, exterior perimeter, and parking lot area. PD also recommends private security guard personnel onsite.

Response: Acknowledged.

2. Please provide a readable Photometric (fonts too small)

Response: Noted. Please see enclosed Photometric plans with improved legibility.

3. Join the North Miami Beach Police Department Trespass After Warning Program.

Response: Acknowledged.

4. PD recommend No Parking “Fire Lane” Signs in Fire Staging Areas identified in the Signage Plan.

Response: Acknowledged. Applicant will coordinate fire lane signage and locations with Miami-Dade Fire Rescue Department.

5. Provide PD with Traffic Impact Study.

Response: Please see the Traffic Impact Study previously submitted, and also included with this submittal.

6. Place emergency contact information in front of property or lobby area for emergency responders in case of an emergency.

Response: Acknowledged.

SECTION IV. NEIGHBORHOOD MAINTENANCE & BEAUTIFICATION

1. The following is required in garbage enclose detail at the time of plan submittal:
 - A. 6" Sanitary Drains
 - B. Hose bibs
 - C. Trash chute specifications
 - D. Service door specifications

Response: Please refer to revised sheet SP-1 for added floor drains and hose bibs. Please see enclosed trash chute and service door specifications.

2. As this building is a combination of functions, there will be no bulk trash service.

Response: Acknowledged.

3. All garbage service to be provided by the City of North Miami Beach or city contracted provider.

Response: Acknowledged.

SECTION V. BUILDING DEPARTMENT

“Aura” 16955-17071 West Dixie Highway

The following is a preliminary analysis of potential code issues relative to proposed development at 16955-17071 West Dixie Hwy for future mix-use of new construction-Highrise building.

1. Based on Architecture drawing the proposed 8 stories high-rise is considered a Threshold Building and must comply with the requirement of FBC section 110.8.

Response: Noted. Information for threshold inspector will be provided at the time of submittal for a building permit.

2. The occupied roof will be counted as an additional story to the building.

Response: In compliance with Sections 24-58.H.28 & 24-58.R.3, the occupied roof area represents less than 50% of the story level; therefore, assumed as a “Mezzanine” and proposed to not count as a story level.

3. Common areas and Retails are under the ADA design standard. Living units are under the FHA design standard.

Response: Acknowledged.

SECTION VI. BERMELIO & AJAMIL ARCHITECTURAL REVIEW

This review addresses the architectural design review of the proposed Aura mixed-use development at 16955-17071 West Dixie Highway, in North Miami Beach, and based on the design submitted on March 16, 2021. The proposed project presented for review is a redesign of the previously approved 5-Park mixed-use development following the same concept layout with site plan, building plans, and façade changes.

The architectural review of the new design provides the following comments and observations to the design changes identified:

1. **North Building Entrance** – There is no entrance to the North Building. The Code indicates that the primary access to a building shall be from a street. As the design is now, the walking distance from the only street entrance on the South Building to the units on the North Building is excessive. While there is an entrance from the parking structure, this does not meet the intent of the Code.

Response: Please refer to revised sheet SP-1 for added entrance to North Building.

2. **Pool and Amenity Location** – The previous pool located on the ground floor on the south side of the site has been relocated to a rooftop terrace. The rooftop recreation deck is above the tree line of East Greynolds park to the east of the site and will offer views of Maule Lake, the Intracoastal Waterway, and beyond to the high-rise development on AIA. The rooftop location of the recreation amenities, the terrace, and the pool make for a beautiful addition to the design concept.

Response: Noted.

3. **Rooftop Mechanical Equipment** – The roof deck plan is easily read and logical; however, there appears to be no indication of where the rooftop mechanical equipment is located. Please indicate where the mechanical equipment on the roof is located.

Response: Please refer to revised sheet A-2.06 for added mechanical equipment. Final mechanical equipment locations will need to be coordinated with mechanical engineer.

4. **South Side Ground-Floor Courtyard Amenity** – The open space on the south side where the pool was previously is developed as a ground-level landscaped courtyard. Access to this space is through a stair emergency exit. The hallway goes through the stair exit and is an unattractive way to reach the landscaped courtyard area on the south side. The emergency exit access renders this space very difficult to use by the residents. It is understood that this courtyard will be fenced and only accessible to the residents. It would be good to have a visual linkage from the lobby to this open space on the south side of the building. To accomplish this may require rearrangement of the units on the ground floor.

Response: Per our meeting with Bermelio & Ajamil we will install glass doors at the corridor shown on the plans that connects the corridor with the South courtyard to create a visual connection.

5. **Long Corridor Without Natural Light** – The east corridor is nearly 600 feet long. There is a jog in the hallway at the north end of the parking deck, intended to break the long vista and as a gesture to attempt to create two different buildings on the east side. There is no natural light coming into this corridor except that at the end of the almost 600 feet distance. It is a “cruise ship” corridor condition that may become distressful to long-term building residents. This condition was one of the significant comments made in the review of the previous project. There is a need to break the monotony of this long corridor and bring natural light.

Response: Noted. Two sources of natural light have already been provided to corridors. Concern with long corridor along east side can be addressed via interior design as well.

6. **Roof Top Amenity Deck over Retail Area** – The proposed design provides an amenity deck over the sizeable retail space not covered by residential units. The amenity deck is an added investment that will eliminate the views from the residential units of a gray rooftop. It is a great new addition to the design. No indication is made of any mechanical equipment to serve the retail space below that may need to be located on this amenity deck. There appears to indicate some type of enclosure different from the pedestrian and landscape areas and is assumed to be for mechanical equipment serving the retail space below. More detail on how any mechanical equipment on the deck will be buffered will be an appreciated and needed addition to the work submitted.

Response: Please refer to revised sheet SP-1 for designated location for the retail mechanical equipment.

7. **Façade Changes** – While following the original concept, the proposed facades present a light balcony structure using metal mesh railings and limited masonry to articulate the façade. There is a sizeable amount of glass fenestration in all facades of the building. All the faces of the building are attractive and articulated.

Response: Noted.

8. **Ground Floor Pedestrian Galleria** – A galleria at ground-level spans almost the entirety of the project and will provide a beautiful pedestrian and retail frontage on West Dixie Highway. The open space on the north corner will have residential units over it. It will be a covered area that will create a year-round usable amenity. On the ground-level plan, both pedestrian and vehicular paths are indicated in basically the same color. While it is evident on the landscape plan, we recommend that the ground-level pedestrian areas in the general ground-level plan be colored differently to distinguish and highlight their location and contribution to the street scene. This change will make it easier for the layman to understand the ground-level plan.

Response: Noted. Please refer to revised sheet SP-1 for revised graphics depicting site pedestrian vs. vehicular circulation.

9. **Residential Unit Design** – The individual residential units are well designed. The Average Unit Size is 895 square feet, well above the required 800 square feet.

Response: Noted.

10. **Parking Ratio** – The parking ratio is 1.4 parking spaces per unit if we include the guest spaces in the parking structure (526 spaces/375 units).

Response: Noted.

SECTION VII. BERMELIO & AJAMIL URBAN DESIGN REVIEW

Section 25-48 (MU) Mixed-Use

#	Location	Code Language	Compliance	Review Comment	Applicant's Response
1	(J) (3) c.	The design of new streets and modifications of existing streets shall comply with the following requirements for typical street section with no parking: s (5' min.) g (5' min.) c (2') Lanes	Additional Info	Drawings indicate 40' Access Easement (Two Way) on south side of parcel. While Sidewalk, Landscape Strip, and Curb and Gutter meet the minimum requirements (Figure MU-3) for typical street section with no parking, Sheet SP-1 indicates 8' Lane. Please provide rationale behind an 8' Lane. Is that suitable for a single-lane of a two-way traffic?	Please refer to latest sheet SP-1 for revised lane width.
2	(J) (3) d.	Street Furniture. Street furniture includes but is not limited to outdoor benches, waste containers, planters, phone booths, bus shelters, bicycle racks, tree grates, decorative stamped concrete or stamped asphalt crosswalks, banners, water fountains, newspaper dispensers and bollards whether within or outside the public right-of-way. Street furniture provided on site shall be compatible with the architecture of the surrounding buildings, the character of the area and other elements of the streetscape. Consistency in the selection and location of the various elements of street furniture is critical for maximum effect and functional use. All street furniture shall be subject to the approval of the City.	Additional Info	Sheet A-3.05 indicates inspirational images. Provide images of Street Furniture contemplated for use on the project within these images or other location in drawing set.	Please see the specs for the benches, trash container, & recycling containers that have been included on the landscape drawings.
3	(K) (2) b.ii.	Openings off any street shall not exceed two (2) lanes in width and twenty-four (24) feet maximum per entrance/exit. Entrances/exits on alleys are exempt from this requirement.	Additional Info	On Sheet SP-1, provide overall dimension of the access point of the parking garage and demonstrate compliance with this requirement.	Please refer to latest sheet SP-1 for revised dimensions.

Section 25-48 (MU) Mixed-Use					
#	Location	Code Language	Compliance	Review Comment	Applicant's Response
4	(Q) (1)	Light poles shall not exceed an overall height of 17.5 feet above grade;	Additional Info	Sheet L1.1-1.2 include Lighting Fixture Schedule and Pole Mounted LEDs mounted on 15' pole. Is that the overall height of the pole and the light fixture?	The pole plus the fixture is 15'.
5	(Q) (7)	On-site lighting poles shall be of a consistent architectural style and shall complement the predominant architectural theme of the project.	Additional Info	Provide graphic example of the light fixture on the pole to be consistent with architectural style of building.	See the graphic example that has been added to the photometric plans.
6	(S) (1) a.	Building Length. The maximum horizontal dimension of a building shall be three hundred (300) feet.	Additional Info	Sheets A-2.02 to 2.05 indicate length of frontage of building length for each of the buildings on the site. However, given the complexity of the building style/design, please provide these corresponding dimensions on the elevation sheets (Sheets A-3.01 to 3.03). Please ensure that the buildings appear as two separate buildings. The existing elevations appear as a single massive building.	Please refer to latest sheets A-3.01 to A-3.03 for added dimensions.
7	(S) (1) d.	The primary entrance of a building shall provide access to a public right-of-way, urban greenway or an open space.	Additional Info	Provide additional information regarding the plan for the commercial space? Where is the entrance to the commercial areas?	Please refer to latest sheet SP-1 for added commercial space entrance information.
8	(S) (1) e.	The primary entrance to the upper levels of a mixed-use building shall be from a public right-of-way.	No	Drawings do not indicate an entrance to the north building, only an entrance lobby for the south building. Where does one enter the north building from the public right-of-way? Provide information about the short corridor off the main corridor of the north building, with a door at the end of the hall.	Please refer to revised sheet SP-1 for added entrance to North Building
9	(S) (1) g. i.	Ground Floor Active Use. Storefronts are active uses located along the ground floor of	Additional Info	See Comment #7. Also, Drawings do not indicate a Sheet A-2.01. Is that the ground	Please see enclosed sheet SP-1 with ground level information.

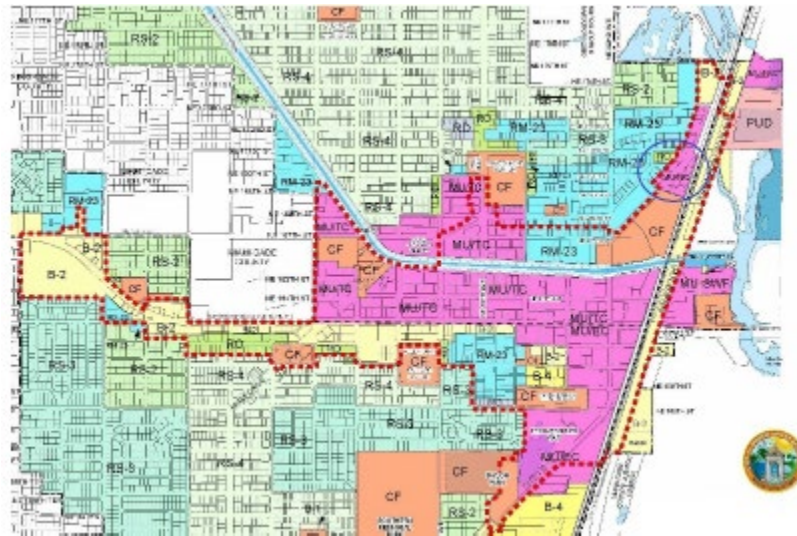
Section 25-48 (MU) Mixed-Use					
#	Location	Code Language	Compliance	Review Comment	Applicant's Response
		a building. Storefronts shall be provided in compliance with the following standards:		floor plan? Sheet SP-1 does not show details of the floor plan.	
10	(S) (1) g. i. 1.	They shall be provided on the ground floor of all mixed-use and non-residential buildings;	Additional Info	ABOVE	Please see enclosed sheet SP-1 with ground level information.
11	(S) (1) j. ii.	Mirror type glass shall be prohibited;	Additional Info	Please make note on Sheet A-3.04 acknowledging that mirror type glass shall be prohibited.	Please refer to latest sheets A-3.01 to A-3.03 for added notes.
12	(S) (1) n.	Dwelling Units. Dwelling units shall not be less than five hundred fifty (550) square feet. In multiple dwelling unit buildings, the cumulative average of all dwelling units shall not be less than eight hundred (800) square feet.	Additional Info	Zoning Data Sheet on SP-1 provides a general breakdown of units divided into Studio, 1Br, 2Br, and 3 Br. For each floor (Sheet A2.02-2.05), please provide clearly a breakdown of the units on each floor plan. Provide a clear label and the size of the unit. This may best be conveyed on a small simplified floor plan added to each sheet that labels what unit type each unit is and a corresponding table that breaks down the unit, size and quantity. Review needs this to confirm compliance with requirements for dwelling units avg.	Please refer to revised sheets A-2.02 to A-3.05 for added unit breakdown.
13	(S) (1) p. v.	Rooftop terraces shall be landscaped over a minimum of fifteen (15%) percent of the rooftop terrace area. Landscaping shall consist of trees, shrubs, ground cover, and vines.	Additional Info	On Sheet LP-3, provide area calculation demonstrating that a minimum of 15% of the Pool deck and amenity deck is landscaped area.	Provided area calculations and legend on sheet LP-3 as requested
14	(S) (1) r. ii.	Swimming pools and/or whirlpools shall be surrounded by a minimum five-foot- wide walkway.	Additional Info	Provide dimension demonstrating compliance with this requirements for the pool.	Please refer to revised sheets A-2.06 for added required clear walkway.
15	Table MU-2 Lot Standards By Building Type	Maximum Pervious Area 90%, Min Pervious Surface Area 10%	Additional Info	On Sheet SP-1, a block diagram has been provided. It would be helpful if a similar diagram is provided, which shows the overall	Please refer to sheet SP-1 for added pervious diagram.

Section 25-48 (MU) Mixed-Use					
#	Location	Code Language	Compliance	Review Comment	Applicant's Response
				site area with pervious vs impervious areas to demonstrate compliance more clearly.	
Section 25-48.3 (MUNC) Mixed-Use Neighborhood Center District					
#	Location	Code Language	Compliance	Review Comment	Applicant's Response
16	(I) (2) a.	Providing tree species that provide continuous shade for a minimum of seventy (70%) percent of the frontage along the urban greenways. Palm trees alone are not acceptable and the maximum spacing of the shade trees shall be thirty (30) feet on center.	Additional Info	On Sheets LH-1 and LH-2, provide the length of the frontage along the UG and then the length of the overall tree canopy using the spread of each tree, to demonstrate compliance with minimum continuous shade (70%).	See sheet L-1 for additional Urban Greenway legend and Urban Greenway landscape area
17	(I) (2) b.	Providing street furnishings such as benches, trash receptacles, bike racks, drinking water fountains, etc.	Additional Info	Provide additional information about street furnishings.	Specs for benches, trash container, and recycling container have been added to the landscape drawings.
18	(M) (1) b.	A minimum of one (1) shower and changing facility shall be provided to be available for all tenants and shall be located within the building, or within two hundred (200) feet of the building entrance, for developments greater than fifty thousand (50,000) square feet in gross building area.	No	Provide shower and changing facility	See Sheet SP-1 for the shower and changing facility that is required for the commercial space.
19	(M) (3)	Mixed-Use Developments. Mixed-use developments shall provide secure bicycle parking spaces for both the commercial and residential components of the development as calculated separately pursuant to the requirements of this section.	No	There are 428 required parking spaces for the project. Zoning Data Table indicates only 16 required/provided bicycle parking. Code requires minimum 1 bike rack for every 15 required parking spaces. 29 required bike parking spaces. Please label clearly.	See sheet SP-1. Racks for 29 bikes will be provided.

SECTION VIII. THE CORRADINO GROUP TRAFFIC REVIEW

The Corradino Group, Inc (Corradino) has been requested to review the traffic study for the Aura development located at 16955-17071 West Dixie Highway in North Miami Beach, FL, 33162. The following are the most recent traffic review comments of the 03/02/21 submittal:

1. Please update the traffic report to identify that the project site is within the City of North Miami Beach CRA boundaries. The traffic study should include a narrative regarding meeting the traffic concurrency exemption requirements as outlined in the City Code of Ordinances.



Response: As indicated by the CRA map provided, this project is found to be within the Community Redevelopment Agency (CRA) area. However, since this project was previously approved and it meets all the Level of Service requirements, the applicant is not interested in being exempt from Traffic Concurrency.

2. Please provide any comments from FDOT and Miami Dade County DTPW of this updated traffic study.

Response: The Applicant is coordinating and will continue to coordinate with agencies with jurisdiction to address all traffic comments.

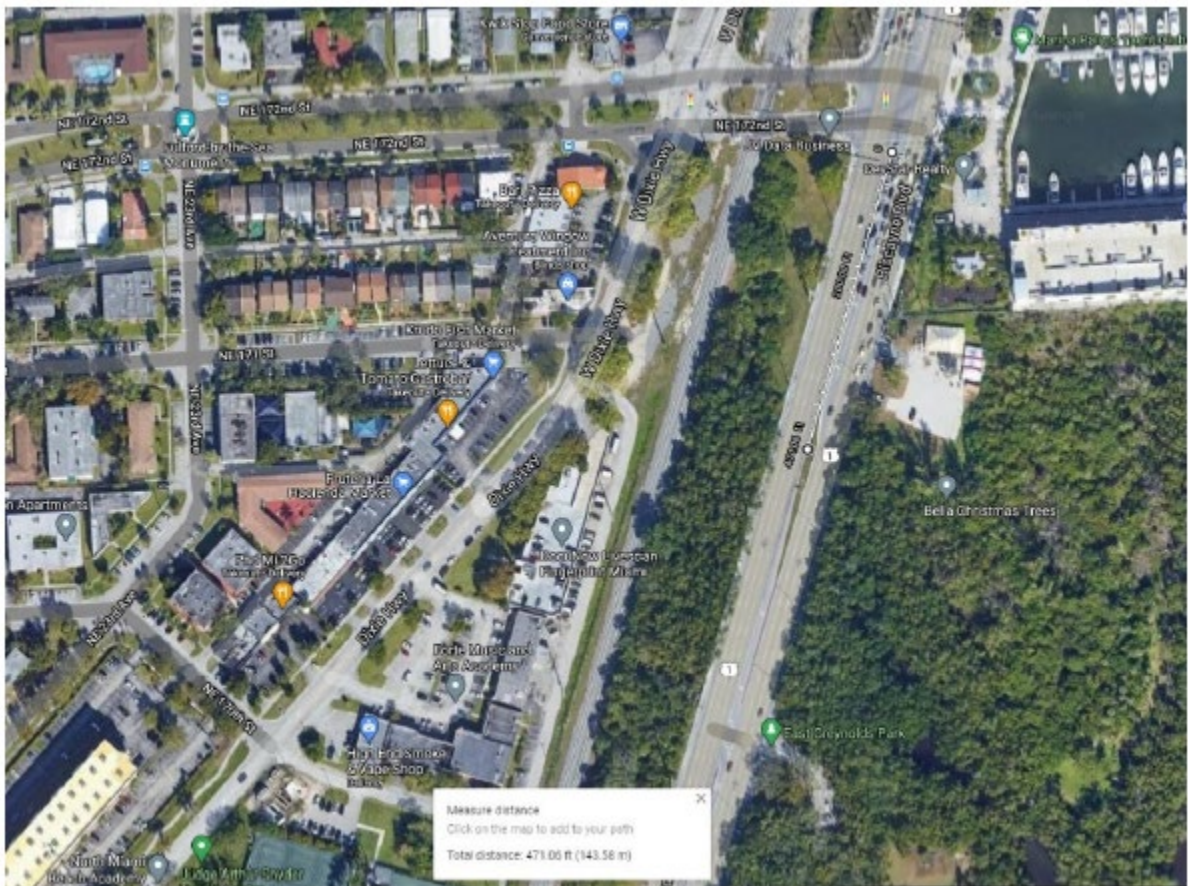
3. Projects that have direct or immediate access to West Dixie Highway shall be subject to the review and approval by FDOT and/or Miami Dade County Department of Transportation and Public Works (DTPW) for compliance with FDOT and Miami Dade County standards. Please provide an approval letter from FDOT and/or Miami Dade County as part of your resubmittal for the improvements to the driveway connection along W Dixie Highway.

Response: We will provide approval letters once received.

- Please confirm that the proposed development project will not be utilizing valet drop off and pick-up for the residents or the propose commercial development site. The proposed trips mentioned are the Uber and Lyft trips from the anticipated visitors to the site.

Response: Confirmed. No valet services contemplated.

- Please provide details regarding mitigation improvements for the intersection of US-1/Biscayne Boulevard and 172nd Avenue signalized intersection. The future with project total traffic conditions in the PM peak hour confirm that the 95th percentile vehicle queue of 471 LF with a 400 LF northbound left turn lane storage length. Please address this required turn lane extensions based on the 95th percentile vehicle queue stacking in the narrative of the traffic impact study.



Response: The intersection of Biscayne Blvd and NE 172nd Street falls within the jurisdiction of FDOT. This intersection was found to have an average queue of 288 feet, which is much less than the 400 feet. Additionally, our project only added 5 trips during the PM peak and zero AM peak hour trips. This impact is therefore de minimis and does not need mitigation. Lastly, the subject left turn lane has been maximized by FDOT.

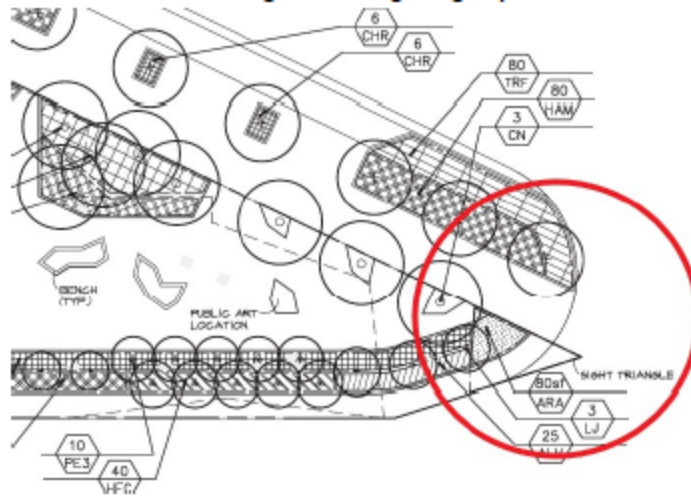
- Please provide details regarding mitigation improvements for the intersection of West Dixie Highway and 172nd Street signalized intersection. The future with project total traffic

conditions in the PM peak hour confirm that the 95th percentile vehicle queue of 231 LF for the westbound through movement extends into the existing adjacent signalized intersection of US-1/Biscayne Boulevard and US-1. Please address this traffic operational concern at this intersection location in the narrative of the traffic impact study.



Response: The westbound movement of West Dixie Highway and NE 172nd Street is constrained by the railroad crossing (FEC jurisdiction), Biscayne Blvd (FDOT jurisdiction) and also falls under the purview of Miami-Dade County. It is the responsibility of these agencies to address any deficiencies. However, since this intersection is currently under design for the widening on West Dixie Highway, these agencies will be reviewing and making any necessary improvements.

7. Please provide additional design details of both access roadways (NE 170th Street and 20' alley), the one on the south and the east side of the proposed parcel. The pavement marking and signage plans do not show any stop control signage or stop bars at the connections to West Dixie Highway. Please add these plan related details to the site plan, paving and drainage plans and the pavement marking and signage plans. Please review the placement of the sight triangles with the proposed stop bar placement at each location.

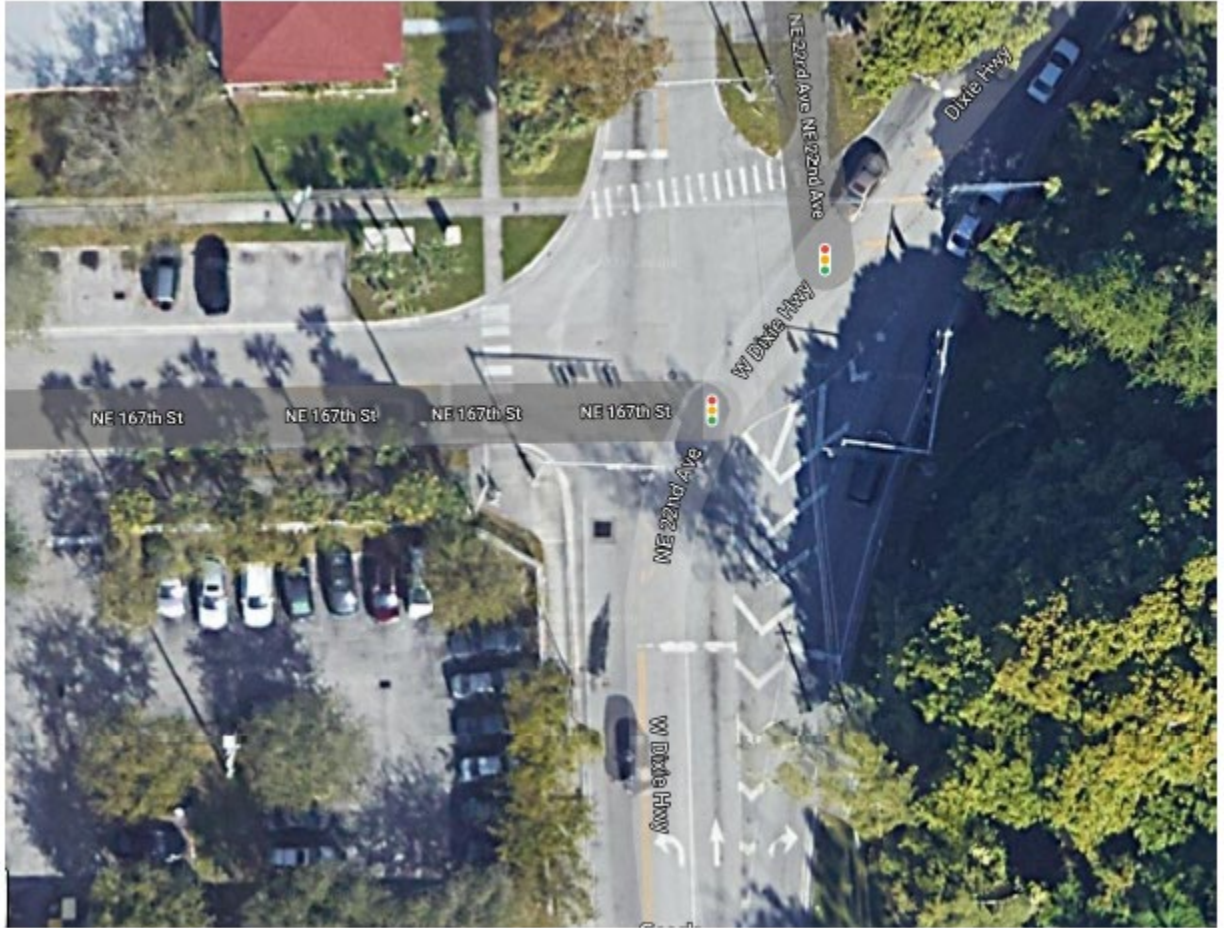


Response: See sight triangles & stop bars added to Pavement Marking & signage plans.

8. Please provide the sight triangles at all driveway connections on the pavement marking and signage plan like those shown on the site plan and landscape plans.

Response: The sight triangles are shown on the pavement marking & signage plans.

9. Please provide more specific details of the program date for the completion of the West Dixie Highway Improvement project mentioned in the Planned Improvements section. This should include confirmation if the proposed improvements will be completed by the projected build-out date. This should include specific reference to any additional improvements that have been included as geometric modifications in the modeling of relevant intersections. This includes the existing signalized intersection of West Dixie Highway and NE 167th Street/NE 22nd Avenue. This intersection includes dual northbound right turn lanes and two lanes for the southwest movement which are not present in the existing conditions.

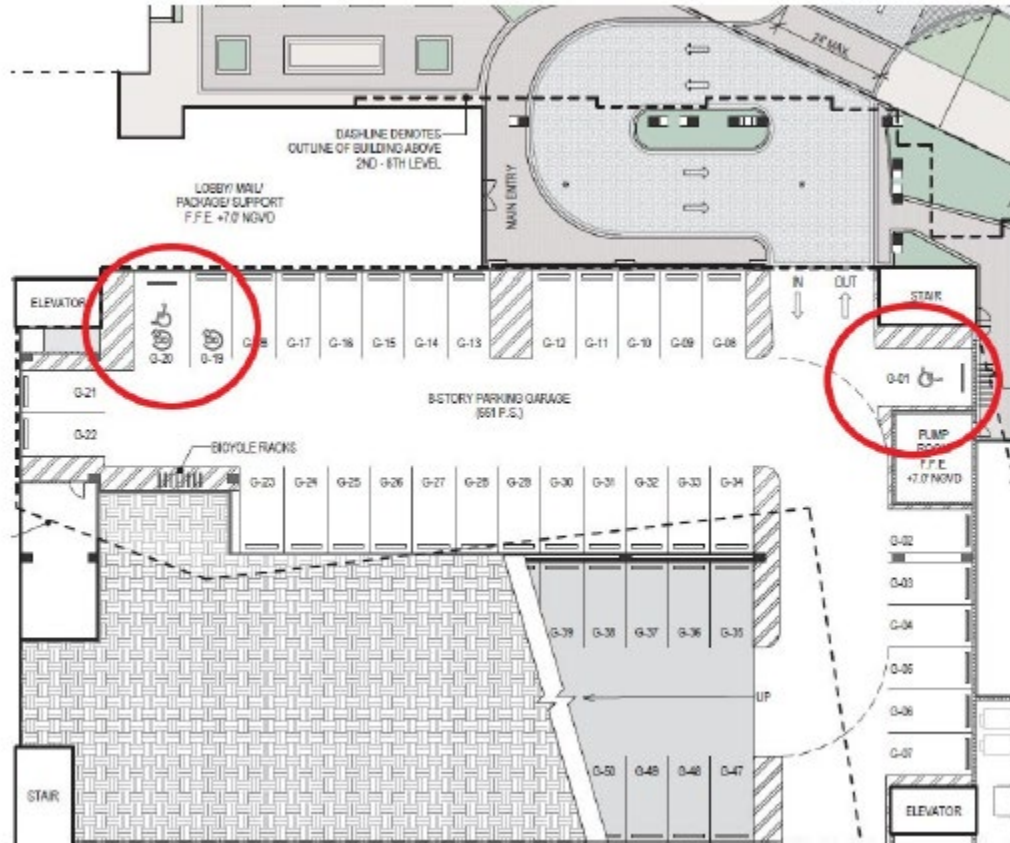


Response: The improvements to West Dixie Highway have been done by Miami-Dade County for the City of North Miami Beach. This roadway widening is currently at the 90 percent design phase and design should be completed within the next few months. It is our understanding the City is looking to begin construction immediately; however, we have not been provided specific dates. Further, we believe the City may have more detailed information on the progress of this project.

10. Please label the ADA handicap parking spaces on the pavement marking and signage plans. Please ensure the dimensions and labels match on all plan sheets and the parking space details.

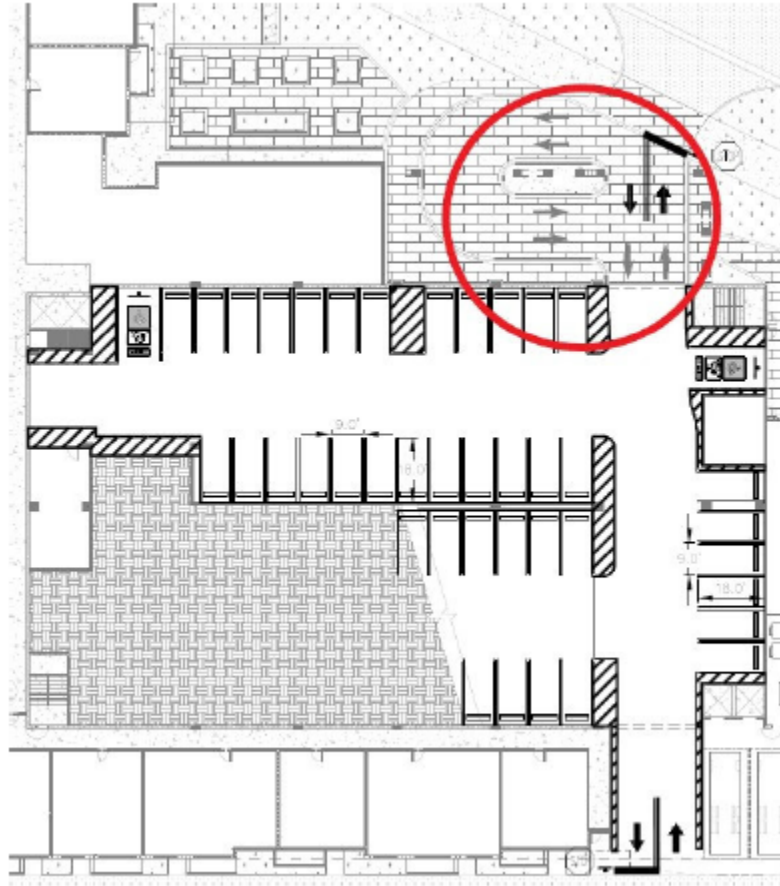
Response: The ADA parking spaces have been labeled on the Pavement Marking & Signage Plans.

11. Please ensure that the handicap parking spaces are oriented appropriately on all plan sheets per the Miami Dade County and North Miami Beach handicap accessible parking space details and criteria. This comment applies to all ADA spaces on all parking garage levels. The standard parking space dimensions should be a minimum of 9' wide x 18' long per Section 24-93 of the Code of Ordinances. The handicap parking space dimensions should be a minimum of 12' wide x 20' long per Section 24-93 of the Code of Ordinances.



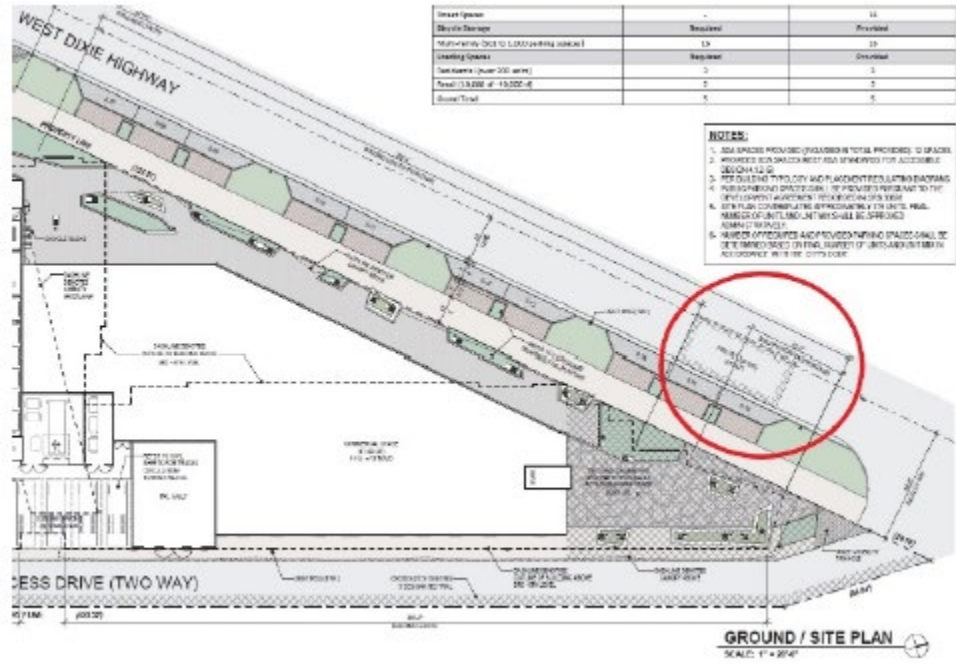
Response: Please refer to latest sheets SP-1, and A.202 to A-2.05 for revised ADA spaces markings. Typical dimensions for ADA spaces have also been added for clarification.

12. Please provide additional stop control at the intersection of the garage and the circular drop off pick up area. This should include consideration of the placement of One-Way and Do Not Enter signs per MUTCD at the intersection of the garage and circular drop off pick up area.



Response: Please see the Pavement Marking & Signage Plans.

13. Please provide Fire Rescue approval for the proposed set-up areas. The set-up areas within West Dixie Highway are near the 171st Street intersection and one location is on a horizontal curve.



Response: We will provide approval once received.

SECTION IX. PLANNING & ZONING

Provide a written response to all TRAD comments in the next submission. These comments are based on the plans submitted for the March 25, 2021 TRAD.

GENERAL

1. Include Plan Sheets showing required Roadway and Easement Improvements, per section 6 of Development Agreement:
 - A. West Dixie Highway Improvements, along east half of WDH, between easement and 172nd Street
 - i. Improvements shall include landscaping, on-street parking, sidewalks, curbs, and gutter.
 - B. Easement Improvements shall include landscaping, on-street parking, sidewalks, curbs, and gutter.
 - C. Sketch Location of Perpetual Easement only shows location of 41 spaces.

Response: This is now shown on the civil and landscape plans.

2. Provide copy of recorded DA in subsequent submissions.

Response: A copy of the recorded Development Agreement has been submitted, and is also included with this submittal for your consideration.

3. Be advised, FEMA FIRM Maps have been updated and released to the public. The updated maps indicate that the BFE is 7 NAVD, and the development shall be subject to the special flood regulations.
 - A. Limitations on Enclosures under elevated buildings and dwellings. Sec. 24-113(C)(3)(5) Additional Elevation of the Building.
 - B. Limitations on placement of fill. Clarify whether you are proposing to construct the development over fill. If so, provide an engineering analysis of the fill proposed on-site, demonstrating the following: Refer to Sec. 24-113(E)(4) for additional requirements.
 - i. Particle composition of fill material does not have a tendency for excessive natural compaction.
 - ii. Volume and distribution of fill will not cause wave deflection to adjacent properties.
 - iii. Slope of fill will not cause wave run-up or ramping.

- iv. Fill does not cause a net loss of 100-year floodplain storage. Compensatory storage of equal volume must be provided onsite.

Response: Latest FEMA FIRM Maps show a BFE of +6 NGVD.

SITE PLAN

1. Provide the following site plan sheets:

- A. Unit Types: ensure floor plans are dimensioned for each unit type proposed.

Response: Ground level floor plan and unit breakdown per level have been added as part of this re-submittal for unit types clarification.

- B. Site Management Plan and a Temporary Construction Fencing Plan

Response: Please refer to enclosed sheet SP-3 for Site Management Plan and Temporary Construction Fencing Plan

- C. ROW Improvements

Response: Please refer to enclosed sheet SP-3 for ROW improvements area

2. On plan sheet A-3.04 showing fenestration calculations on ground level, include street name fronting the elevation in label.

Response: Please refer to updated sheet A-3.04 for revised street fronting labeling.

3. Applicant should clarify and consider the number of trash chutes and placement in a building of this size. Review indicates only one trash chute.

Response: Confirmed, only one trash chute proposed for residential use. This is optimal for residential use, maintenance, and trash hauling.

4. Show location of any A/C or mechanical equipment.

Response: Please refer to revised sheet SP-1, and A-2.06 for added locations for mechanical equipment which will need to be finalized with mechanical engineer.

5. Clarify what amenities are proposed on the 3rd level (A-2.03).

Response: See Sheet LP-3.

6. On plan sheet showing mezzanine level A-2.06:

- A. Show total square footage of roof area vs. mezzanine area.

Response: Please refer to latest A-2.06 for added roof and approximate mezzanine square footages.

- B. Buildings higher than 8 stories shall only be developed per the Tower building Type standards.

Response: In compliance with Sections 24-58.H.28 & 24-58.R.3, the occupied roof area represents less than 50% of the story level; therefore, assumed as a “Mezzanine“ and proposed to not count as a story level.

- C. Identify or provide floor plan for amenities proposed in mezzanine area.

Response: Please refer to latest A-2.06 for added amenity area program.

OPEN SPACES AND URBAN GREENWAY SYSTEM

1. Provide details for street furnishings, such as benches, light poles, trash receptacles, bike racks, drinking water fountains, etc. All street furniture shall be subject to the approval of the City.

Response: See specs for benches, trash, and recycling containers on landscape plans.

2. Figure MU/NC-3 Designated Publicly Accessible Open Spaces and Greenway Systems Regulating Plan

- A. On Site Plan show Designated Trail at the rear of the property

Response: Please refer to sheet SP-1 for designated 5' wide trail.

- B. New Designated Publicly Accessible Space

- i. Shall be four thousand eight hundred (4,800) square feet unless otherwise specified in the zoning district. Include dimension on Site Plan.

Response: Please refer to latest SP-1 for Designated Publicly Accessible Space area.

- ii. Plans indicate Plaza configuration: shall comply with Plaza requirements in Sec. 24-55(L)(4)(b).

1. Plazas shall have more than fifty (50%) percent of their property lines surrounded by nonresidential uses.

Response: Please clarify. We could not find code section referenced above.

ON-SITE PARKING

1. Identify/label the forty-one (41) public parking spaces required per DA, on the site plan.

Response: See Architectural sheets.

2. Electric Car Charging Stations are encouraged within the garage. If any, show location.

Response: Please refer to sheet A-2.04 for added legend and tentative locations for EV charging stations.

3. Show any access control gates proposed in garage.

Response: See Sheet A2.02 for security gate in the garage.

4. Dimension bicycle storage on site plan and ensure compliance with Sec. 24-58.3(M): Mixed-use developments shall provide secure bicycle parking spaces for both the commercial and residential components of the development as calculated separately pursuant to the requirements of this section.

A. Commercial: Secure bike racks and/or storage at a ratio of one (1) bicycle parking space per every fifteen (15) required parking spaces.

B. Residential: One (1) bicycle parking space shall be provided per every fifteen (15) required parking spaces. Required residential bicycle parking spaces shall be provided in a secured area, covered from the elements.

Response: See Sheet SP-1.

LANDSCAPE STANDARDS

1. Show location of light pole placement coordinated with proposed landscaping.

Response: Provided on landscape sheets.

2. Within Landscape Data Table, identify Required Trees. Show compliance with the following: a maximum of twenty-five (25%) percent of all required trees shall be of a palm species.

Response: Revised data table with required information has been shown on landscape sheets.

3. Minimum 10% Open space required is provided. Is this on ground level?

Response: Yes, it is provided at ground level. See additional information on sheet L-1.

4. Dimension all landscape areas to ensure compliance with landscape requirements including:

- A. Street trees are required and shall be spaced at a maximum of thirty (30) feet on center.

Response: Dimensioned as requested, see sheets LP-1 & LP-2

- B. A minimum of fifty (50%) percent of the pedestrian passageway shall be shaded and may include a combination of landscaping and architectural elements.

Response: Provided note to clarify pedestrian passageway, see sheets LP-1, LP-2, LH-1 & LH-2

- C. If provided, tree placement shall be in planters or tree grates a minimum of five (5) feet by five (5) feet.

Response: Provided landscape planter, no need for tree grates

- D. Urban Greenway Standards
 - i. Along West Dixie Highway (Figure MU/NC-5).
 - 1. The minimum width of the urban greenways shall be twenty-eight (28) feet.

Response: Dimensioned as requested, see sheets LP-1 & LP-2

- 2. A minimum of twenty (20%) percent of the length of the portion of the urban greenway within the setback shall be landscaped and shall consist primarily of sod, ground cover or ornamental grass.

Response: Provided additional legend and exhibit on sheet L-1 to clarify landscape in Urban Greenway

- 3. Tree grates a minimum of five (5) feet by five (5) feet may be utilized in place of the required landscape strip.

Response: Provided landscape strip, no need for tree grates

- 4. Providing tree species that provide continuous shade for a minimum of seventy (70%) percent of the frontage along the urban greenways. Palm trees alone are not acceptable and the maximum spacing of the shade trees shall be thirty (30) feet on center.

Response: Provided additional urban greenway legend to clarify

- 5. No plant material other than trees shall be higher than twenty-four (24) inches within the urban greenway.

Response: Revised planting in Urban Greenway to make sure under 24"

PROJECTIONS AND ENCROACHMENTS

1. Clarify location of any awnings/canopies/balconies on Site Plan. Include the following details:
 - A. Show vertical clearance from the sidewalk elevation, the horizontal projection, and dimensions for each.

Response: Please refer to latest sheets A-3.01 to A-3.03 for added dimensions.

- B. Dimension balconies. Minimum horizontal projection is 3 feet.

Response: Please refer to sheets A-2.02 to A-2.06 for balcony projections. No balconies project less than the required 3 feet.

- C. Be advised canopies, colonnades and roofs shall be guttered, and drainage shall be deposited on-site.

Response: Noted.

2. Ensure Colonnade complies with Colonnade Standard in Sec. 24-58(S)(1)(k):
 - A. Colonnades built to satisfy building frontage requirements shall be attached to the principal structure
 - B. In no case shall the depth of the colonnade exceed the colonnade's height.
 - C. The finished floor elevation of the colonnade shall match the adjoining sidewalk, when applicable.
 - D. Dimension colonnade/canopy to ensure maximum horizontal projection 20 ft.

Response: Noted. Please refer to sheet A-2.01 for added dimension.

SIGNAGE

1. Include a plan sheet show conceptual signage and how it will fit within the proposed facades. Signage shall not interfere with door and window openings, conceal architectural details or obscure the composition of the facade where they are located.

Response: Proposed residential signage locations are shown on the elevation drawings. Signage will be submitted under a separate signage permit.